

For Office Use Only

Case #: _____
Filing Date: _____
Hearing date: _____
Date fee paid: _____
Receipt #: _____
Approved _____ Denied _____

Madison County Planning Commission
16 E 9th Street, Box 13, Anderson, IN 46016
Ph: (765) 641-9541 Fax: (765) 648-1361 www.madisoncounty.in.gov

NO PARTIAL FILINGS WILL BE ACCEPTED

Planning Docs/Liz/Forms/Rezone App Revised 4/24/26 per Atty. Graham (all previous forms null & void)

REZONE *COMPLETE ALL AREAS or N/A*

Property Owner

Owner name: Gary Brumfield, Brenda Brumfield _____
Address: 6803 Shorewood Dr Arlington, TX Zip 76016
Phone #: 817-652-4882 _____
Email: _____

Petitioner Information

Petitioner name: Liberty Madison II Storage LLC, attn: Nat Drucker _____
Address: 1108 Lavaca Street Suite 110-349, Austin, TX Zip 78701
Phone #: (512) 667-4925 _____
Email: nat.drucker@jupiterpower.io _____

Attorney/Contact Person and Project Engineer (if any)

Name: Timothy Ochs _____
Address: One American Square Suite 2900, Indianapolis, IN Zip 46282
Phone #: (317) 236-5952 _____
Email: timothy.ochs@icemiller.com _____

Name: John Peshorn _____
Address: 2321 Club Meridian Drive, Ste E Okemos, MI Zip 48864
Phone #: (517) 249-4398 _____
Email: john.peshorn@stantec.com _____

Attachments

- Legal Description of property
- Letter of intent
- Site plan-drawn to scale (4 Copies) 11x17
- Application fee
- Most Current Deed

CRITERIA

1. The proposed change must reflect consistency with the Madison County Comprehensive Plan and any other applicable, adopted planning studies or reports;
2. It must demonstrate that it fits within the context of current conditions, existing structures and uses in the district;
3. It must reflect the most desirable use of the land;
4. said rezoning cannot negatively impact the value of surrounding properties;
5. and it should reflect responsible growth and development including adequate infrastructure when available.

Project Information

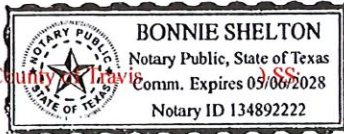
parcels 481327400005, 481327100004, 481327100005

State Parcel #: 4 8 - - - - -
Acreage or lot size: 100 acres Township & Section: Section 27, T18N, R8E
Address/location: 8425 S 400 E, Markleville, IN 46056
Current zoning: Agriculture Current Use Agriculture Proposed zoning: General Industrial

Why is rezone being requested: Pursuant to Madison County Land Use and Development Code, Article 3.29, a rezone is being requested in order to enable the construction and operation of an energy storage facility to support the reliability of the regional and Madison County grid.

The undersigned states the above information is true and correct as (s)he is informed and believes.

Signature of Property Owner(s): A. New, President Date: 6/1/26
Date: _____



State of Texas)
Subscribed and sworn to before me this 1st day of June, 2026.
Bonnie Shelton / Bonnie Shelton
Notary Public Printed Name
Residing in Travis County, TX My Commission expires: 05/06/2028

LETTER OF INTENT

The Madison County Plan Commission
The Board of Commissioners of Madison County
16 East 9th Street
Madison County Government Center
Anderson, IN 46016

Re: Letter of Intent Regarding Liberty Madison Storage II LLC, Rezoning Application for the Development of a Battery Energy Storage System in Madison County, IN.

Dear Commission Members:

Liberty Madison Storage II LLC, a Delaware limited liability company (“**Petitioner**”) hereby proposes to rezone the real estate (the “**Project Site**”) as defined **Exhibit A** located within unincorporated Madison County to industrial use for the development of a Battery Energy Storage System commonly known as Liberty II (the “**Project**”).

The Project Site was selected because it is adjacent to the I&M Fall Creek Substation. This substation plays a critical role in the local and regional energy system and is a location where an energy storage system can have an outsize impact on the power grid. By locating the Project adjacent to the substation, the Project is clustering electrical infrastructure in a location where very significant electrical infrastructure already exists. In addition, being adjacent to the substation reduces the need for lengthy new power lines running from some other more distant location to the substation, which would be required if the site were farther away. This proximity to the substation helps to minimize the land use impacts that the Project might otherwise create.

The Project Site is currently zoned agriculture and consists of agricultural row crops. Surrounding land uses include residential/agricultural fields to the east and west, a residence to the south, and a residence and the I&M Fall Creek Substation to the north. An application for site development approval was submitted in parallel to the rezoning application. However, as part of the written commitments (as attached separately and defined in **Exhibit B**), the Petitioner is proposing that in parallel with the rezoning, high-impact industrial applications, as well as solar, be restricted on the parcels to ensure that rezoning does not lead to any unintended uses on the site.

Please see the Project Description document submitted by Liberty Madison Storage II LLC as support for its Site Development Plan application for more information on the proposed development use.

Thank you.

Liberty Madison Storage II LLC

Duly Entered for Taxation
Subject to Final Acceptance for transfer
JUL 12 2005

Handwritten Signature
AUDITOR, MADISON COUNTY

Quitclaim Deed

THIS INDENTURE WITNESSETH, That JOAN BRUMFIELD, an adult resident of Madison County, Indiana ("Grantor"), QUITCLAIMS to VALORUS JOAN BRUMFIELD, TRUSTEE, under the VALORUS JOAN BRUMFIELD LIVING TRUST, dated April 21, 2005, of Madison County, Indiana, ("Grantee"), for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following-described real estate in Madison County, in the State of Indiana:

- Tract 1:
The Southeast Quarter of the Northeast Quarter of Section 27, Township 18 North, Range 8 East, containing 40 Acres, more or less.
- Tract 2:
The Northeast Quarter of the Northeast Quarter of Section 27, Township 18 North, Range 8 East.
- Tract 3:
The North Half (1/2) of the Northeast Quarter (1/4) of the Southeast Quarter (1/4) of Section 27, Township 18 North, Range 8 East, containing twenty (20) acres more or less.

Grantor was married to R. Gene Brumfield on a date prior to the date Grantor and said R. Gene Brumfield acquired the above-described real estate, and remained continuously married to said R. Gene Brumfield until his death July 22, 2004. Therefore, title to the above-described real estate is vested in Joan Brumfield, individually, as the surviving tenant by the entireties.

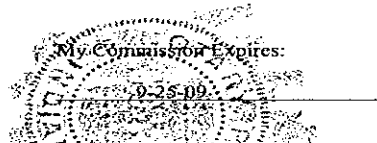
IN WITNESS WHEREOF, Grantor executed this Quitclaim Deed this 21st day of April, 2005.

Joan Brumfield
Joan Brumfield

STATE OF INDIANA)
) SS:
COUNTY OF MADISON)

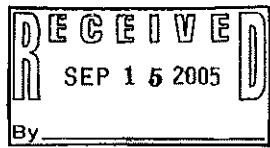
Before me, a Notary Public in and for said County and State, personally appeared JOAN BRUMFIELD, who acknowledged the execution of the foregoing Quitclaim Deed, and who, having been duly sworn, stated that any representations therein contained are true.

WITNESS my hand and Notarial Seal this 21st day of April, 2005.



Michael D. Austin
Michael D. Austin, Notary Public
& Resident of Madison County

Instrument Prepared By: MICHAEL D. AUSTIN HOLSEY LACEY, HARDACRE, AUSTIN & SHINE, P.C. 911 Meridian Plaza, P.O. Box 1448 Anderson, Indiana 46015	Return Deed To / Send Tax Bills To: Valorus Joan Brumfield, Trustee 7918 South State Road 109 Markleville, Indiana 46056
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END OF DOCUMENT

EXHIBIT A

PROJECT SITE LEGAL DESCRIPTION

The following described real estate in Madison County, State of Indiana:

Tract 1:

The Southeast Quarter of the Northeast Quarter of Section 27, Township 18 North, Range 8 East, containing 40 Acres, more or less.

Tract 2:

The Northeast Quarter of the Northeast Quarter of Section 27, Township 18 North, Range 8 East, containing 40 Acres, more or less.

Tract 3:

The North Half (1/2) of the Northeast Quarter (1/4) of the Southeast Quarter (1/4) of Section 27, Township 18 North, Range 8 East, containing twenty (20) Acres, more or less.

EXHIBIT B

WRITTEN COMMITMENTS

For written commitments associated with this rezoning application, please refer to the written commitments included as Appendix C of the Project Description submitted as part of the Site Development Plan application by Liberty Madison Storage II LLC for the Project.

5/5/2026 9:40:37 AM

PRELIMINARY SITE PLANS

FOR

LIBERTY II

8425 SOUTH COUNTY ROAD 400 EAST,
ADAMS TOWNSHIP, IN 46056
MAY 2026

CLIENT



JUPITER POWER, LLC
1108 LAVACA STREET
AUSTIN, TEXAS 78701
(E) - NAT.DRUCKER@JUPITERPOWER.IO
CONTACT: NAT DRUCKER

ENGINEER



STANTEC CONSULTING SERVICES, INC.
2321 CLUB MERIDIAN DR
SUITE E
OKEMOS, MI 48864
(E) - JOHN.PENSHORN@STANTEC.COM
CONTACT: JOHN PENSHORN, P.E.

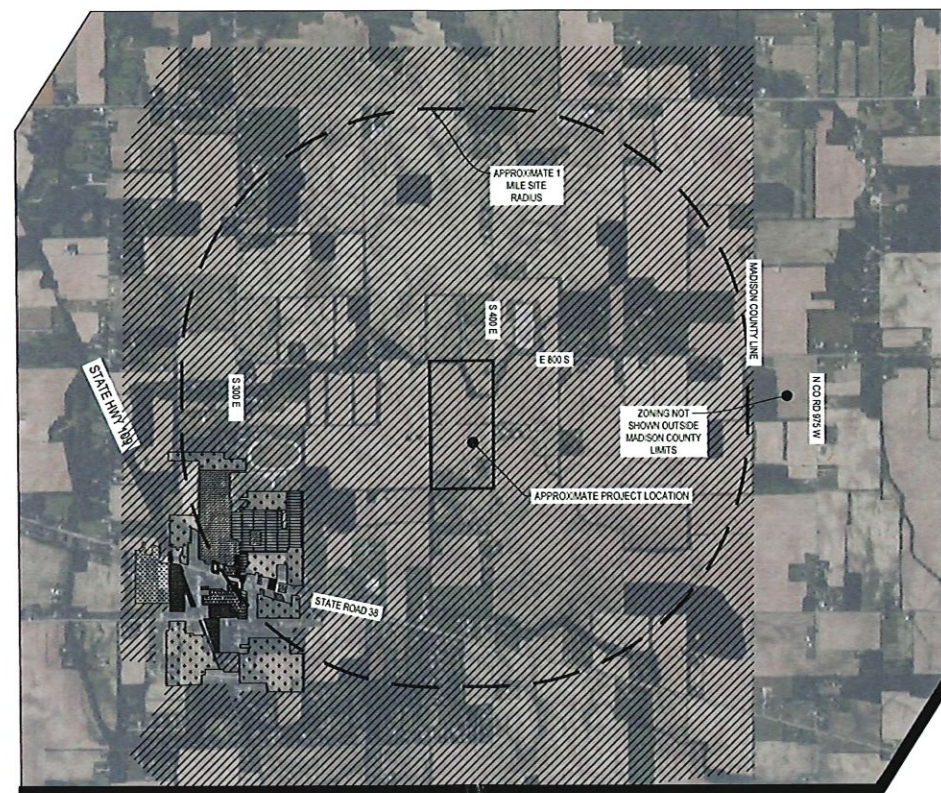


2321 CLUB MERIDIAN DRIVE
SUITE E
OKEMOS, MI 48864
PHONE: 517-349-9499
WWW.STANTEC.COM

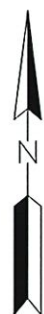
CLIENT:



LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056



VICINITY & ZONING MAP
NOT TO SCALE



PROJECT LOCATION
TOWNSHIP: ADAMS
COUNTY: MADISON

ZONING MAP LEGEND

- AGRICULTURAL
- COMMERCIAL
- DOWNTOWN COMMERCIAL
- INSTITUTIONAL
- INDUSTRIAL
- PARKS AND RECREATION
- RESIDENTIAL
- DOWNTOWN RESIDENTIAL

THIS SHEET SET CONTAINS 38 SHEETS

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
G-001	COVER SHEET
G-002	GENERAL NOTES
G-003	GENERAL NOTES
G-004	OVERALL EXISTING CONDITIONS
G-005	ENLARGED EXISTING CONDITIONS
C-001	OVERALL REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-002	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-003	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-004	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-005	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-006	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
C-101	OVERALL SITE PLAN
C-102	ENLARGED SITE PLAN
C-103	ENLARGED SITE PLAN
C-104	ENLARGED SITE PLAN
C-105	ENLARGED SITE PLAN
C-201	OVERALL POST-CONSTRUCTION STABILIZATION PLAN
C-202	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
C-203	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
C-204	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
C-205	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
C-206	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
C-207	SWPPP
C-208	SWPPP
C-301	OVERALL GRADING PLAN
C-302	ENLARGED GRADING PLAN
C-303	ENLARGED GRADING PLAN
C-304	ENLARGED GRADING PLAN
C-305	ENLARGED GRADING PLAN
C-501	OVERALL STORM SEWER PLAN
C-502	ENLARGED STORM SEWER PLAN
C-801	DETAILS
C-802	DETAILS
C-803	DETAILS
L-101	OVERALL LANDSCAPE PLAN
L-102	ENLARGED LANDSCAPE PLAN
L-103	ENLARGED LANDSCAPE PLAN
L-801	LANDSCAPE DETAILS

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

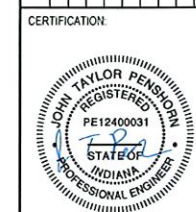
THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

INDIANA 811

TOLL FREE 1-800-382-5544



PROJECT TITLE:
LIBERTY II



PROJECT NO:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO:	1
SHEET TITLE:	COVER SHEET
SHEET NO:	G-001

C:\Users\penshorn\OneDrive\Stantec\Projects\190300335_Liberty_II\BESS\Project Files\3_DESIGN\3_CADD_PLANS\WEST\WEST SITE\G-001 COVER SHEET 050335 West.dwg

GENERAL NOTES

- UNTIL REVISION BLOCK STATES "ISSUED FOR CONSTRUCTION", THE PLAN SET IS NOT CERTIFIED FOR CONSTRUCTION AND CONTRACTOR IS BUILDING AT THEIR OWN RISK.
- EXISTING CONDITIONS SHOWN ARE FROM AN ALTA SURVEY COMPLETED BY STANTEC CONSULTING SERVICES INC., DATED FEBRUARY, 2025. EXISTING FEATURES MAY NOT BE EXACT TO THEIR LOCATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SITE AND MUST IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS. STANTEC SURVEY DID NOT INCLUDE TOPOGRAPHIC INFORMATION AND PUBLICLY AVAILABLE LIDAR IS USED AS THE BASE FOR THE PROJECT.
- SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CHASCE 38-2 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". EXACT LOCATION/DEPTH OF SUBSURFACE UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, SEWER, WATER, PIPELINES, ELECTRICAL, AND CABLE TV ARE UNKNOWN AND THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- CONTRACTOR RESPONSIBLE FOR CONTACTING INDIANA 811 (811 OR 1-800-382-5544) A MINIMUM OF 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) BEFORE STARTING WORK FOR LOCATIONS OF UNDERGROUND UTILITIES.
- WORK AND MATERIALS MUST COMPLY WITH LOCAL, COUNTY, STATE, AND FEDERAL (INCLUDING OSHA) REGULATIONS AND CODES.
- CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND MAINTAIN MAIL, GARBAGE, AND RECYCLING SERVICES TO PROPERTIES THROUGHOUT CONSTRUCTION. COORDINATE WITH LOCAL POSTMASTER, GARBAGE AND RECYCLING SERVICES.
- CONTRACTOR SHALL COORDINATE AND MAINTAIN STORMWATER DRAINAGE CONVEYANCE THROUGHOUT CONSTRUCTION (BOTH PIPED AND OVERLAND FLOW).
- CONTRACTOR SHALL COORDINATE AND MAINTAIN WATER AND SANITARY FLOW TO AND FROM PROPERTIES. PROVIDE BYPASS AND TEMPORARY SYSTEMS, AS NECESSARY.
- CONTRACTOR SHALL COORDINATE AND MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICE MUST NOT BE INTERRUPTED WITHOUT APPROVAL FROM OWNER, LOCAL MUNICIPALITY, AND ADJACENT PROPERTIES.
- CONSTRUCTION LIMITS ARE TO PROPERTY LINE UNLESS SHOWN OR NOTED OTHERWISE. CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON PLANS WITHIN THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING PAVEMENT, SITE FEATURES, UTILITIES, TREES, ETC., UNLESS NOTED OR SHOWN OTHERWISE.
- CONTRACTOR SHALL PHOTO OR VIDEO DOCUMENT EXISTING CONDITIONS OF TREES AND PLANTINGS, ADJOINING CONSTRUCTION, SURFACES, AND SITE IMPROVEMENTS, ETC. TO REMAIN THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. SUBMIT TO ENGINEER AND OWNER BEFORE CONSTRUCTION BEGINS. USE ADEQUATELY DETAILED PHOTOGRAPHS OR VIDEO RECORDINGS. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC EXISTING DAMAGE. CONDITIONS OF ITEMS DESIGNATED TO REMAIN. ANY DAMAGE TO THE EXISTING PAVEMENT, CURBING, STRIPING, OR OTHER SITE FEATURE TO REMAIN MUST BE REPLACED BY THE CONTRACTOR, TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES.
- CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- CONTRACTOR SHALL HAVE ONE COPY OF EACH REQUIRED CONSTRUCTION PERMIT AND ONE COPY OF THE MOST CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT, SPECIAL CONDITIONS AND PROVISIONS, ETC.) AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR IMPLEMENTATION AND ENFORCEMENT OF SAFE WORK PRACTICES, INCLUDING BUT NOT LIMITED TO PERSONNEL MONITORING, USE OF TRENCHING, SHEETING, AND SHORING, SCAFFOLDING, MATERIALS HANDLING AND DRILLING, OPERATION OF EQUIPMENT, AND SAFETY OF PUBLIC DURING PROGRESS OF WORK.
- CONTRACTOR SHALL PLAN FOR AND ENSURE PERSONNEL COMPLY WITH PROVISIONS OF OSHA SAFETY AND HEALTH STANDARDS (29 CFR 1910) AND GENERAL CONSTRUCTION STANDARDS (29 CFR 1926) AS APPROPRIATE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH WORK. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS FOR SAFETY OF EMPLOYEES ON PROJECT SITE AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED BY THE PROJECT. CONTRACTOR'S DUTIES AND RESPONSIBILITIES FOR SAFETY IN CONNECTION WITH WORK SHALL CONTINUE UNTIL SUCH TIME AS ALL WORK IS COMPLETED, AND ENGINEER HAS ISSUED NOTICE TO CONTRACTOR THAT WORK IS COMPLETE.
- HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO OIL, GASOLINE, PAINT AND OTHER HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, BY THE CONTRACTOR, INCLUDING SECONDARY CONTAINMENTS, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH IDEM REGULATIONS. CONTRACTOR SHALL REMOVE SPILL OF FUELS, OILS, OR OTHER CHEMICALS IMMEDIATELY UPON DETECTION.
- IF CONSTRUCTION IS ANTICIPATED TO OCCUR DURING COLD WEATHER, IN THE EVENT THAT SNOW/ICE REMOVAL IS REQUIRED FOR SITE ACCESS AND CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL REMOVE SNOW/ICE AND COORDINATE WITH OWNER FOR ACCEPTABLE SHOW STORAGE AREAS ON-SITE. SNOW/ICE REMOVAL AND STORAGE IS INCIDENTAL TO THE CONTRACT.
- CONTRACTOR SHALL DOCUMENT AND MAINTAIN AS-BUILT INFORMATION AS CONSTRUCTION PROGRESSES AND IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER AS REQUIRED BY JURISDICTIONAL AGENCIES FOR CERTIFICATION. ALL AS-BUILT DATA MUST BE COLLECTED BY A LICENSED PROFESSIONAL LAND SURVEYOR REGISTERED IN THE PROJECT'S STATE WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.

TRAFFIC CONTROL NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION STAGING, ON OR OFF-SITE, AS NECESSARY TO COMPLETE THE WORK. IF OFF-SITE STAGING AREA IS REQUIRED, CONTRACTOR IS RESPONSIBLE TO FIND, OBTAIN, AND PAY FOR NECESSARY STAGING AREA AT NO ADDITIONAL COST TO THE OWNER. SUBMIT A STAGING PLAN TO THE ENGINEER FOR REVIEW BEFORE STARTING WORK.
- CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL. TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE'S MUTCD, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS. SUBMIT TRAFFIC CONTROL PLAN TO MADISON COUNTY AND ENGINEER FOR REVIEW BEFORE CONSTRUCTION RELATED ACTIVITIES. PLANS MUST COMPLY WITH APPLICABLE PERMIT REQUIREMENTS.
- CONTRACTOR MUST SCHEDULE WORK IMPACTING COUNTY ROAD 3400 E WITH THE OWNER, MADISON COUNTY, AND ENGINEER. CLOSURES OR DETOURS MUST BE ACCEPTED BY OWNER AND MADISON COUNTY PRIOR TO STARTING WORK.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC ON ROADS AT ALL TIMES, UNLESS OTHERWISE APPROVED BY THE ROAD AUTHORITY. CONTRACTOR MUST SCHEDULE WORK IMPACTING COUNTY ROAD 3400 E WITH THE OWNER, MADISON COUNTY, AND ENGINEER. CLOSURES OR DETOURS MUST BE ACCEPTED BY OWNER AND MADISON COUNTY PRIOR TO STARTING WORK.

GOVERNING SPECIFICATIONS

- MADISON COUNTY STANDARD SPECIFICATIONS AND REQUIREMENTS.
- INDOT 2024 STANDARD SPECIFICATIONS
- APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES

PROJECT AGENCIES/AUTHORITIES

- MUNICIPALITY: ADAMS TOWNSHIP (CITY)
- ROW AUTHORITY: MADISON COUNTY
- OTHER AUTHORITIES: IDEM/IDNR
- NOTE: NOT ALL APPLICABLE AUTHORITIES MAY BE LISTED.

REMOVAL / DEMOLITION NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL OBTAIN PERMITS REQUIRED FOR DEMOLITION, REMOVAL AND DISPOSAL.
- CONTRACTOR SHALL REVIEW FEATURES NOT SPECIFICALLY IDENTIFIED ON PLAN FOR SALVAGE OR REMOVAL THAT CONFLICT WITH CONSTRUCTION WITH THE ENGINEER.
- MATERIALS REMOVED/DEMOLISHED BY CONTRACTOR BECOME PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL LOAD AND HAUL MATERIAL OFF-SITE AND PROPERLY DISPOSE OF MATERIALS IN ACCORDANCE WITH APPLICABLE REGULATIONS. CONTRACTOR MUST LEAVE THE SITE IN A CONDITION TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- CONTRACTOR SHALL SAWCUT FULL DEPTH AT PAVEMENT REMOVAL LIMITS AND AS NECESSARY TO CREATE A SMOOTH FIT/TRANSITION ALONG MATCHING PAVEMENT AREAS.
- CONTRACTOR SHALL COORDINATE UTILITY REMOVAL WORK WITH APPROPRIATE UTILITY OWNER.
- CONTRACTOR SHALL SALVAGE AND REINSTALL STREET AND TRAFFIC SIGNS IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS NOTED OR AS DIRECTED BY ENGINEER. IF SIGNS ARE DAMAGED DURING CONSTRUCTION, CONTRACTOR REQUIRED TO PROVIDE NEW SIGNS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SALVAGE AND REINSTALL FENCE IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS NOTED OR AS DIRECTED BY ENGINEER. IF FENCE IS DAMAGED DURING CONSTRUCTION, CONTRACTOR REQUIRED TO PROVIDE NEW FENCE, TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR MUST CONTACT THE ENGINEER IMMEDIATELY. ALL CONTAINERS OR TANKS MUST BE DISPOSED OF PROPERLY AT A REGULATED/PERMITTED FACILITY.
- CONTRACTOR SHALL REVIEW ALL TREE REMOVALS WITH THE OWNER AND ENGINEER PRIOR TO REMOVAL OPERATIONS.
- REMOVAL OF ANY EXISTING BUILDING REQUIRES COMPLETION OF A HAZARDOUS MATERIAL SURVEY IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS. CONTRACTOR SHALL PROVIDE THE APPROPRIATE SURVEY AT NO ADDITIONAL COST TO THE OWNER.
- CLEARING AND GRUBBING OPERATIONS MUST COMPLY WITH THE FOLLOWING: PROTECT ALL TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. CONDUCT OPERATIONS IN SUCH A MANNER THAT DOES NOT DAMAGE PROTECTED TREES AND VEGETATION, CUT, REMOVE, AND DISPOSE OF TREES, BRUSH, SHRUBS, WINDFALLS, LOGS, STUMPS, ROOTS, FALLEN TWIGS, AND OTHER VEGETATION; BACKFILL DEPRESSIONS WITH NATIVE SOILS OR SUITABLE FILL MATERIAL AS REQUIRED BY DESIGN OR AS DIRECTED BY THE ENGINEER AND COMPACT BACKFILL AS DIRECTED; DISPOSE OF DEBRIS IN ACCORDANCE WITH APPLICABLE REGULATIONS; CONSIDER BENEFICIAL USE DESIGNATIONS FOR UNADULTERATED WOOD, WOOD CHIPS, BARK AND SAWDUST, NO BURNING OF CLEARED AND GRUBBED WASTE WITHIN THE CONSTRUCTION LIMITS.
- UNLESS OTHERWISE NOTED, CONTRACTOR IS RESPONSIBLE FOR REMOVAL/DEMOLITION WITHIN ALL AREAS OF PROPOSED IMPROVEMENTS. REMOVAL LIMITS ARE IDENTIFIED ON THE DRAWINGS IN ANTICIPATED LOCATIONS. CONTRACTOR RESPONSIBLE FOR REMOVALS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS AND CONFORM TO DESIGN REQUIREMENTS. ALL FACILITIES TO BE REMOVED MUST BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE FILL MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER.

SITE NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- REFER TO LANDSCAPE AND MEP PLANS FOR EXACT LOCATIONS OF AND DIMENSIONS OF TRAFFIC GATES, LANDSCAPING, PLANTINGS, TREES, EXTERIOR ELECTRICAL, BACKFLOW PREVENTORS AND BUILDING UTILITY ENTRANCE LOCATIONS.
- EQUIPMENT PAD ELEVATIONS SHOWN ON GRADING PLAN. EQUIPMENT PAD STRUCTURAL/CONCRETE DESIGN BY OTHERS. COORDINATE WITH PROJECT PARTNERS.

PAVING, PAVEMENT MARKING, AND SIGNAGE NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL MAINTAIN STREET AND TRAFFIC SIGNS AT ALL TIMES DURING CONSTRUCTION.
- SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN ACCORDANCE WITH THE STATE'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPLICABLE ROAD AUTHORITY STANDARDS.
- CONSTRUCTION AND MATERIALS WITHIN PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH APPLICABLE ROAD AUTHORITY'S SPECIFICATIONS AND STANDARDS. DOT SPECIFICATIONS AND STANDARDS APPLY IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS. PAVING, WITHIN THE SITE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - AGGREGATE SURFACING: 11DOT 10. 73 STONE PER INDOT SECTION 303.
 - GEOTEXTILE: TYPE 2A PER INDOT SPEC 918
- FIELD QUALITY CONTROL.
 - TEST SUBGRADE AND AGGREGATE BASE IN ACCORDANCE WITH INDOT SPEC RECOMMENDATIONS WHERE NO FREQUENCY IS PROVIDED, CONSULT ENGINEER FOR REQUIREMENTS.
- TOLERANCES.
 - AGGREGATE BASE & SURFACE: +/- 0.5-INCH

STORM SEWER NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL COMPLY WITH THE SPECIFICATIONS OF MOST RECENT VERSION OF THE MADISON COUNTY, INDIANA STORMWATER TECHNICAL STANDARDS MANUAL FOR MATERIALS, INSTALLATION, AND TESTING OF STORM UTILITIES.
- CONTRACTOR SHALL PROVIDE 10' SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/STRUCTURE) BETWEEN WATER LINES AND SANITARY OR STORM LINES AND STRUCTURE.
- CONTRACTOR SHALL PROVIDE 2' MINIMUM VERTICAL SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/STRUCTURE) BETWEEN WATER LINES AND OTHER UTILITY LINES. PROVIDE INSULATION WHERE WATER, SANITARY, OR STORM UTILITIES CROSS OFFSET WATER/MIAM AND SERVICES AS NECESSARY.
- CONTRACTOR SHALL VERIFY PIPE SIZE, MATERIAL, AND ELEVATION FOR CONNECTIONS. PROVIDE APPROPRIATE PIPES AND FITTINGS REQUIRED TO MAKE CONNECTIONS TO EXISTING INFRASTRUCTURE AS VERIFIED IN THE FIELD.
- CONTRACTOR SHALL PLACE AND COMPACT SUITABLE FILL MATERIAL BEFORE INSTALLATION OF PROPOSED UTILITIES.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING IN ACCORDANCE WITH AGENCY HAVING JURISDICTION REQUIREMENTS.

STORM SEWER NOTES CONT'D

- STORM SEWER MAINS, SERVICE PIPES, FITTINGS, AND STRUCTURES TO MEET THE FOLLOWING REQUIREMENTS:
 - REINFORCED CONCRETE PIPE: REINFORCED CONCRETE (RC) PIPE CLASS PER ACPA LRFD FILL HEIGHT TABLES, TYPE 4 BEDDING, WALL 8 PER CEAM SPECIFICATIONS AND ASTM C76
 - PIPE JOINTS: JOINTS MUST BE CERTIFIED BY THE MANUFACTURER TO BE ABLE TO PASS THE AIR TEST OR INTERNAL HYDROSTATIC PRESSURE REQUIRED BY THE AGENCY HAVING JURISDICTION.
 - STORM PRECAST STRUCTURES GENERAL: ASTM C478 AND DRAWING DETAILS.
 - STORM PRECAST STRUCTURE JOINTS: RUBBER O-RING GASKET MEETING ASTM C443
 - STORM PRECAST STRUCTURE STEPS: PER DETAILS
 - STORM PRECAST STRUCTURE DESIGN: DETAILED AND PREPARED BY A PROFESSIONAL ENGINEER EXPERIENCED IN PRECAST CONCRETE STRUCTURE DESIGN WHO IS LICENSED IN THE STATE OF INDIANA. DESIGN SHALL CONFORM TO A MINIMUM SAFETY FACTOR OF 1.3 FOR BUOYANCY AND FLOTATION WITH THE HYDROSTATIC LOADING (WATER TABLE ELEVATIONS) ASSUMED FROM THE TOP OF THE STRUCTURE. THE DESIGN OF THE BASE SLAB, WALLS, AND TOP SLAB SHALL BE DESIGNED FOR SHEAR STRENGTH, FLEXURAL STRENGTH, AND OTHER APPLICABLE STRENGTHS DUE TO HYDROSTATIC LOADING. THE DESIGN SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI 318, AASHTO, AND INDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, EXCEPT AS NOTED.
 - STORM PRECAST STRUCTURE MORTAR MATERIALS: ASTM C270 AND ASTM C387 WITH AIR CONTENT OF AT LEAST 8 PERCENT.
 - STORM PRECAST STRUCTURE ADJUSTMENT RINGS: SIZE TO MATCH CONE OR OPENING IN TOP SLAB. CONCRETE WITH MINIMUM 3,000 PSI COMPRESSIVE STRENGTH, SINGLE HOOP 8-GAUGE STEEL WIRE REINFORCEMENT, AND 2 INCH THICKNESS EACH RING
 - STORM PRECAST STRUCTURE ADHESION MATERIAL: BETWEEN TOP SLAB AND BARREL SECTION - RAM-MEK OR APPROVED EQUAL FOR CONCRETE RINGS. USE MORTAR MATERIAL
 - STORM PIPE BEDDING: CONTRACTOR SHALL INSTALL AND PROVIDE BEDDING FOR PIPES/STORMWATER SYSTEMS/STRUCTURES IN ACCORDANCE WITH ASTM D 2321 AND ASTM F 1668 (FOR GRAVITY SEWER), ASTM C 1479 (FOR RC PIPE) AND PROJECT/MANUFACTURER DETAILS AND SPECIFICATIONS.
 - STORM SYSTEM TRACER WIRE: MEET AUTHORITY HAVING JURISDICTION REQUIREMENTS
 - CONTRACTOR SHALL COMPACT EX-BANK/EMBANKMENT/BACKFILL MATERIAL IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS.
 - CONTRACTOR SHALL MEET MOISTURE CONTENT/CONTROL REQUIREMENTS IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS, THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS
 - FIELD QUALITY CONTROL, TESTING, INSPECTIONS, AND CERTIFICATIONS MUST COMPLY WITH THE FOLLOWING:
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, AGENCY HAVING JURISDICTION AND UTILITY SERVICE COMPANIES.
 - STORM LINES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO:
 - STORM PIPE DEFLECTION TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS
 - STORM PIPE LEAKAGE TESTING IN ACCORDANCE WITH ASTM C1244 (RC STRUCTURES), ASTM C969 (RC PIPE), OR OTHER ACCEPTABLE METHOD BY THE ENGINEER
 - TOLERANCES:
 - STORM PIPE HORIZONTAL TOLERANCE: WITHIN 0.50 FEET OF ALIGNMENT
 - STORM PIPE VERTICAL TOLERANCE: ZERO PLUS AND 0.08 FEET MINUS ELEVATION WITH NO INTERMEDIATE HIGH POINTS, LEVEL SECTION, OR REVERSE INVERT SLOPE
 - STORM PIPE JOINT DEFLECTION TOLERANCE: NO MORE THAN 75% OF MAXIMUM ALLOWABLE, AS RECOMMENDED BY MANUFACTURERS OF PIPE AND JOINT MATERIAL
 - STORM STRUCTURE RIM ELEVATION TOLERANCE: ZERO PLUS AND 0.08 FEET MINUS ELEVATION SHOWN ON PLANS.

GRADING NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE, UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO QUANTIFY SOIL IMPORT OR EXPORT FOR THE SITE AND PERFORM THEIR OWN QUANTITY TAKEOFFS FROM THE DRAWINGS FOR BIDDING PURPOSES. ADDITIONAL SOIL MAY BE NECESSARY TO ACHIEVE THE FINAL GRADES SHOWN ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE ADDITIONAL ON-SITE BORROW AREAS WITH OWNER AND ENGINEER
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE EQUIPMENT AND ENSURE NO PONDING IN PAVED AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF GRADING DISCREPANCIES ARE FOUND IN EXISTING OR PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT. OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING BEFORE PLACEMENT OF PAVEMENT TO ENSURE DRAINAGE IS ADEQUATE TO INTENDED AREA.
- CONTRACTOR SHALL BACKFILL SUBGRADE AND TRENCH EXCAVATIONS AT THE END OF EACH WORK DAY AFTER EXCAVATION TO HELP OFFSET STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SEED/SOD, AND FERTILIZER IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- REFERENCE EROSION CONTROL PLANS FOR TEMPORARY SEEDING AND STRAW MULCHING.
- REFERENCE LANDSCAPE PLAN FOR MINIMUM TOPSOIL THICKNESS.
- EXISTING TOPSOIL ON SITE VARIES IN DEPTH. CONTRACTOR SHALL REMOVE SURFACE VEGETATION AND TOPSOIL AND OTHER LOOSE, SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE IMPERVIOUS AREAS AND OTHER AREAS AS DIRECTED BY THE ENGINEER BEFORE PLACEMENT OF SUITABLE FILL MATERIAL.
- CONTRACTOR SHALL EXCAVATE AND DISPOSE OF UNSUITABLE OR CONTAMINATED SOILS DISCOVERED ON-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS AND AS DIRECTED BY THE ENGINEER.
- EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON INTERPOLATED POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY, REGULATORY COMPLIANCE (ADA), POSITIVE DRAINAGE, AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REWORK OF A DISCREPANCY THAT IS NOT COMMUNICATED TO THE ENGINEER IN WRITING AT NO ADDITIONAL COST TO THE OWNER.
- EXCAVATE, COMPACT EMBANKMENT/SUITABLE FILL AND BACKFILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL MEET MOISTURE CONTENT/CONTROL REQUIREMENTS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND IN ACCORDANCE WITH AND SITE TESTING REQUIREMENTS.
- ONSITE EMBANKMENT MATERIAL FREE OF ORGANIC SOIL AND DEBRIS MAY BE CONSIDERED FOR REUSE AS SUITABLE FILL MATERIAL IN PREVIOUS AREAS BUT MUST BE APPROVED BY THE ENGINEER.
- IMPORTED SUITABLE FILL MATERIAL NEEDED MAY CONSIST OF SAND (SW,SP), SILTY SAND (SM), CLAYEY SAND (SC), SANDY LEAN CLAY OR LEAN CLAY (CL), ACCORDING TO THE USCS CLASSIFICATION WITH A PLASTIC INDEX OF THESE MATERIALS NOT EXCEEDING 15, AND MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER BEFORE BRINGING ON THE SITE.
- CONTRACTOR SHALL PROVIDE DEWATERING MEASURES AS REQUIRED OR AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER. SEE DEWATERING NOTES FOR ADDITIONAL REQUIREMENTS.
- FIELD QUALITY CONTROL.
 - SOILS TESTING WILL BE COMPLETED BY A GEOTECHNICAL ENGINEER/INDEPENDENT TESTING AGENCY HIRED BY THE CONTRACTOR AND APPROVED BY THE OWNER. CONTRACTOR SHALL COORDINATE REQUIRED SOILS TESTS AND INSPECTIONS WITH THE ENGINEER.
- TOLERANCES.
 - TESTING SHALL FOLLOW THE FREQUENCY OUTLINED IN THE GEOTECHNICAL REPORT, OR PER INDOT SPEC 203, IF NO FREQUENCY IS PROVIDED, CONSULT ENGINEER FOR REQUIREMENTS.

DEWATERING NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR MAY ENCOUNTER GROUND WATER. DEWATERING WORK NECESSARY FOR CONSTRUCTION WILL BE CONSIDERED INCIDENTAL TO OTHER WORK.
- CONTRACTOR SHALL OBTAIN APPLICABLE REQUIRED PERMITS AND SUBMIT DEWATERING PLAN TO COUNTY AND ENGINEER FOR REVIEW. DEWATERING MUST MEET PERMIT REQUIREMENTS AND BE REVIEWED BEFORE STARTING CONSTRUCTION ACTIVITIES.
- CONTRACTOR MUST DEWATER IN ACCORDANCE WITH THE NPDES PERMIT.
- CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LOADED WATER RELATED TO DEWATERING OR BASIN DRAINING (E.G. PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO THE SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMP'S (E.G. S/LT BAGS), SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES. IF THE CONTRACTOR MUST DISCHARGE WATER THAT CONTAINS OIL OR GREASE, THE CONTRACTOR MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G. CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGING THE WATER. THE CONTRACTOR MUST ENSURE THAT DISCHARGE POINTS ARE ADEQUATELY PROTECTED FROM EROSION AND SCOUR. THE DISCHARGE MUST BE DISPERSED OVER NATURAL ROCK RIPRAP, SANDBAGS, PLASTIC SHEETING, OR OTHER ACCEPTED ENERGY DISSIPATION MEASURES.
- CONTRACTOR MUST DISCHARGE WATER FROM DEWATERING OR BASIN DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWN SLOPE PROPERTIES, OR INUNDATION IN WETLANDS CAUSING SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
- IF THE CONTRACTOR IS USING FILTERS WITH BACKWASH WATER, THE CONTRACTOR MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. THE CONTRACTOR MAY DISCHARGE BACKWASH WATER TO THE SANITARY SEWER IF PERMISSION IS GRANTED BY THE SANITARY SEWER AUTHORITY. THE CONTRACTOR MUST REPLACE AND CLEAN THE FILTER MEDIA USED IN DEWATERING DEVICES WHEN REQUIRED TO RETAIN ADEQUATE FUNCTION.

TREE PRESERVATION NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL PROTECT EXISTING TREES THAT ARE NOT TO BE REMOVED. INSTALL ORANGE MESH FENCING, 4 FEET HIGH, WITH STAKES EVERY 10 FEET, 5 FEET OUTSIDE OF THE DRIP LINE OF PRESERVED TREES, OR AT THE CONSTRUCTION LIMITS. DO NOT PERFORM ACTIONS WITHIN THE PROTECTED AREA THAT MAY HARM THE TREE AND COMPACT THE SOIL, INCLUDING EXCAVATION, STORAGE MATERIALS, PARKING AND TRAFFIC DURING CONSTRUCTION. WHERE CONSTRUCTION REQUIRES DISTURBANCE WITHIN THE PROTECTED AREAS, DISTURB THE ROOT ZONE AS LITTLE AS POSSIBLE.
- TREE PROTECTION MEASURES/FENCING MUST BE IN PLACE PRIOR TO BEGINNING CONSTRUCTION AND MUST BE REVIEWED BY OWNER AND ENGINEER BEFORE STARTING CONSTRUCTION.
- WHEN TREE ROOTS ARE ENCOUNTERED THAT MUST BE REMOVED, CONTRACTOR SHALL CUT ROOTS CLEANLY AS FAR FROM THE TREE AS POSSIBLE AND IMMEDIATELY WATER AND BACKFILL OVER THE ROOTS TO PREVENT DRYING.

HORIZONTAL AND VERTICAL CONTROL NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- THE HORIZONTAL CONTROL FOR THIS PLAN IS INDIANA STATE PLANE COORDINATE SYSTEM, EAST ZONE (NAD 83).
- THE VERTICAL DATUM FOR THE PLAN IS MVD+88.

TYPICAL PROJECT OBSERVATIONS

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR MUST NOTIFY OWNER, ENGINEER, AND CITY IN WRITING A MINIMUM OF 3 DAYS IN ADVANCE OF THE FOLLOWING ACTIVITIES FOR ATTENDANCE AND OBSERVATION: PRE-CONSTRUCTION MEETING, UNDERGROUND PIPING AND UTILITIES INSTALLATION, UTILITY TESTING, STRUCTURES AND APPURTENANCES INSTALLATION, SUBGRADE PREPARATION, BASE INSTALLATION, CURB INSTALLATION, AND PAVEMENT INSTALLATION.

TEST REPORTS REQUIRED

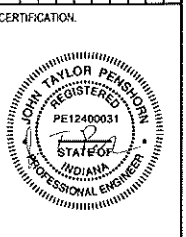
- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- COPIES OF COMPACTION/MOISTURE, CONCRETE, AND OTHER TEST RESULTS ARE TO BE SENT TO THE OWNER DIRECTLY FROM THE INDEPENDENT TESTING LABORATORY.
- ONSITE/INPLACE GEOTECHNICAL/CONCRETE TESTING MUST BE COMPLETED BY THE CONTRACTOR'S INDEPENDENT TESTING LABORATORY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED IN-PLACE TESTS AND INSPECTIONS WITH THE ENGINEER/INDEPENDENT TESTING LABORATORY.
- TEST REPORTS REQUIRED MAY INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO: DENSITY TESTS OF SOIL AND PAVEMENT COMPACTION, AND OTHER TESTING REQUIRED BY AGENCY/MUNICIPALITY HAVING JURISDICTION.
- RE-WORK/RE-TESTING DUE TO FIELD TEST FAILURE ARE AT NO ADDITIONAL COST TO THE OWNER.



LIBERTY II

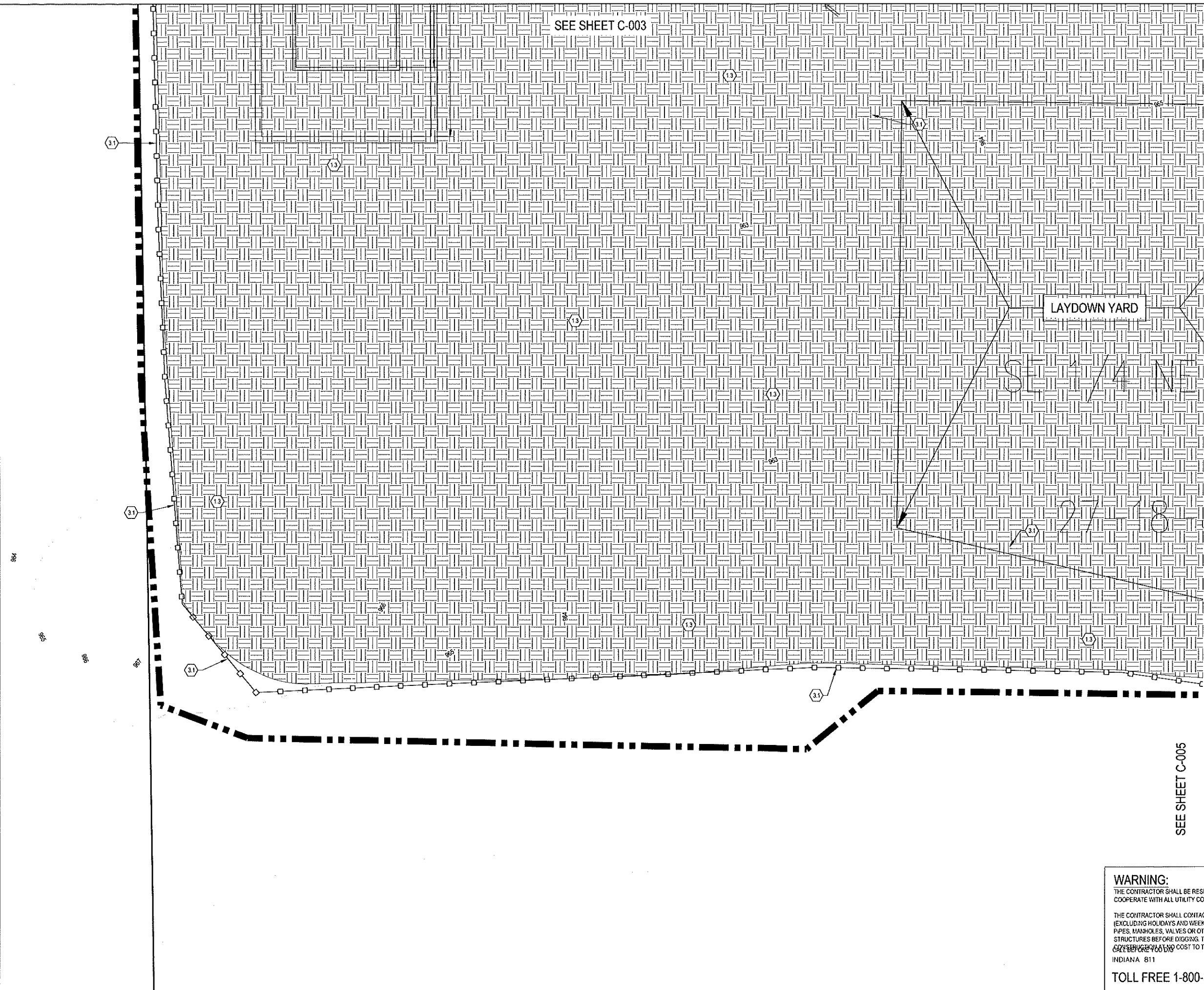
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

PROJECT TITLE:	LIBERTY II									
ISSUE NO.:	1									
DESCRIPTION:	SITE PLAN SUBMITTAL									
DATE:	05/04/2026									



PROJECT NO.:	190300335
DAN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	GENERAL NOTES
SHEET NO.:	G-002

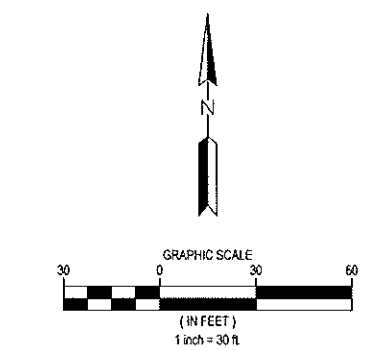
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 2321 CLUB MERIDIAN DRIVE
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 CREMERS, IN 46024
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CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

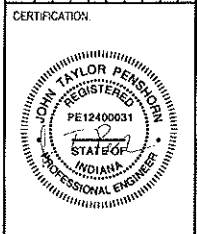


- LEGEND**
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - RIGHT OF WAY LINE
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING
 - EXIST FLOODPLAIN
 - TOPSOIL STRIPPING AREA
 - CONSTRUCTION LIMITS
 - STABILIZED CONSTRUCTION EXIT
 - SILT FENCE
 - TEMPORARY SEDIMENT TRAP DISCHARGE
 - EXISTING FLOW PATH
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF. CLEAR AND GRUB AS NEEDED WITHIN THE LIMITS OF DISTURBANCE AND REMOVE INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
 - EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE.

- KEYNOTES**
- REMOVAL ITEMS
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING/STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND MAILBOX
 - TOPSOIL STRIPPING AREA
 - REMOVE FENCE
 - REMOVE SEPTIC TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE PROPANE TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES, COORDINATE WITH UTILITY PROVIDER
 - ABANDON PROPERTY LINE
 - PROTECT ITEMS
 - PROTECT EXISTING OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES
 - PROTECT TREES/BRUSH
 - PROTECT EXISTING FENCE
 - PROTECT EXISTING ROADWAY ASPHALT
 - EROSION CONTROL ITEMS
 - SILT FENCE - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - TEMPORARY SEDIMENT BASIN - SEE DETAIL 2/C-803

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II



PROJECT NO:	190300335	
DWN BY:	CHK'D BY:	APP'D BY:
THR	RAG	JTP
ISSUE DATE:	05/04/2026	
ISSUE NO.:	1	
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN	
SHEET NO.:	C-004	

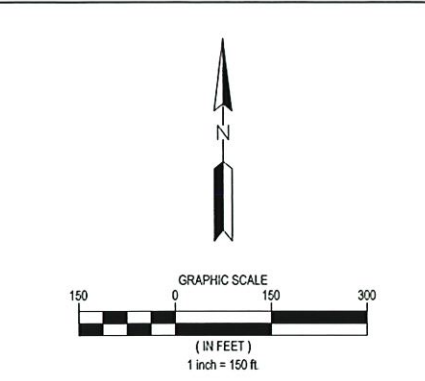
WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

INDIANA 811

TOLL FREE 1-800-382-5544

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LEGEND

	PROPERTY BOUNDARY
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING EDGE OF GRAVEL
	EXISTING TREE LINE
	EXISTING BUILDING
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING COMMUNICATIONS PEDESTAL
	EXISTING UTILITY POLE
	EXISTING MAILBOX
	EXISTING HAND HOLE
	EXISTING GRAVEL SURFACE
	EXISTING ASPHALT SURFACE
	FEMA FLOODPLAIN
	IDNR FLOODPLAIN

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - EXISTING UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE AND REMOVE/RELOCATE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS. COORDINATE WITH UTILITY SERVICE PROVIDER.

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 INDIANA 811
 TOLL FREE 1-800-382-5544

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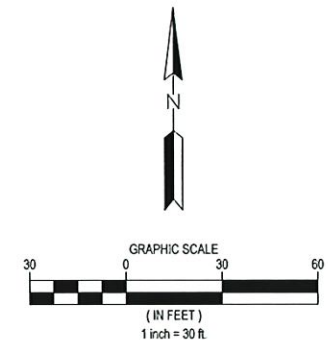
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

ISSUE NO.:	1
DESCRIPTION:	SITE PLAN SUBMITTAL
DATE:	05/04/2026

CERTIFICATION:

PROJECT NO.:	190300335				
DWN BY:	THR	CHKD BY:	RAG	APPD BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	OVERALL EXISTING CONDITIONS				
SHEET NO.:	G-004				

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LEGEND

	PROPERTY BOUNDARY
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING FENCE LINE
	EXISTING EDGE OF GRAVEL
	EXISTING TREE LINE
	EXISTING BUILDING
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING COMMUNICATIONS PEDESTAL
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	FEMA FLOODPLAIN
	IDNR FLOODPLAIN

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - EXISTING UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE AND REMOVE/RELOCATE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS. COORDINATE WITH UTILITY SERVICE PROVIDER.

WARNING:
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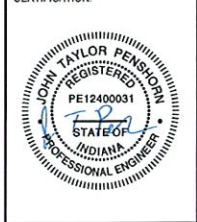
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 2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

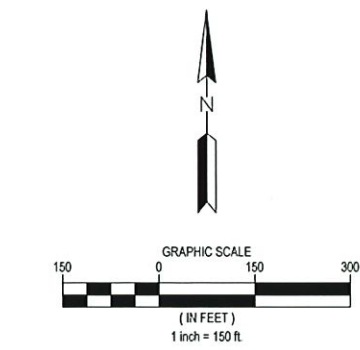
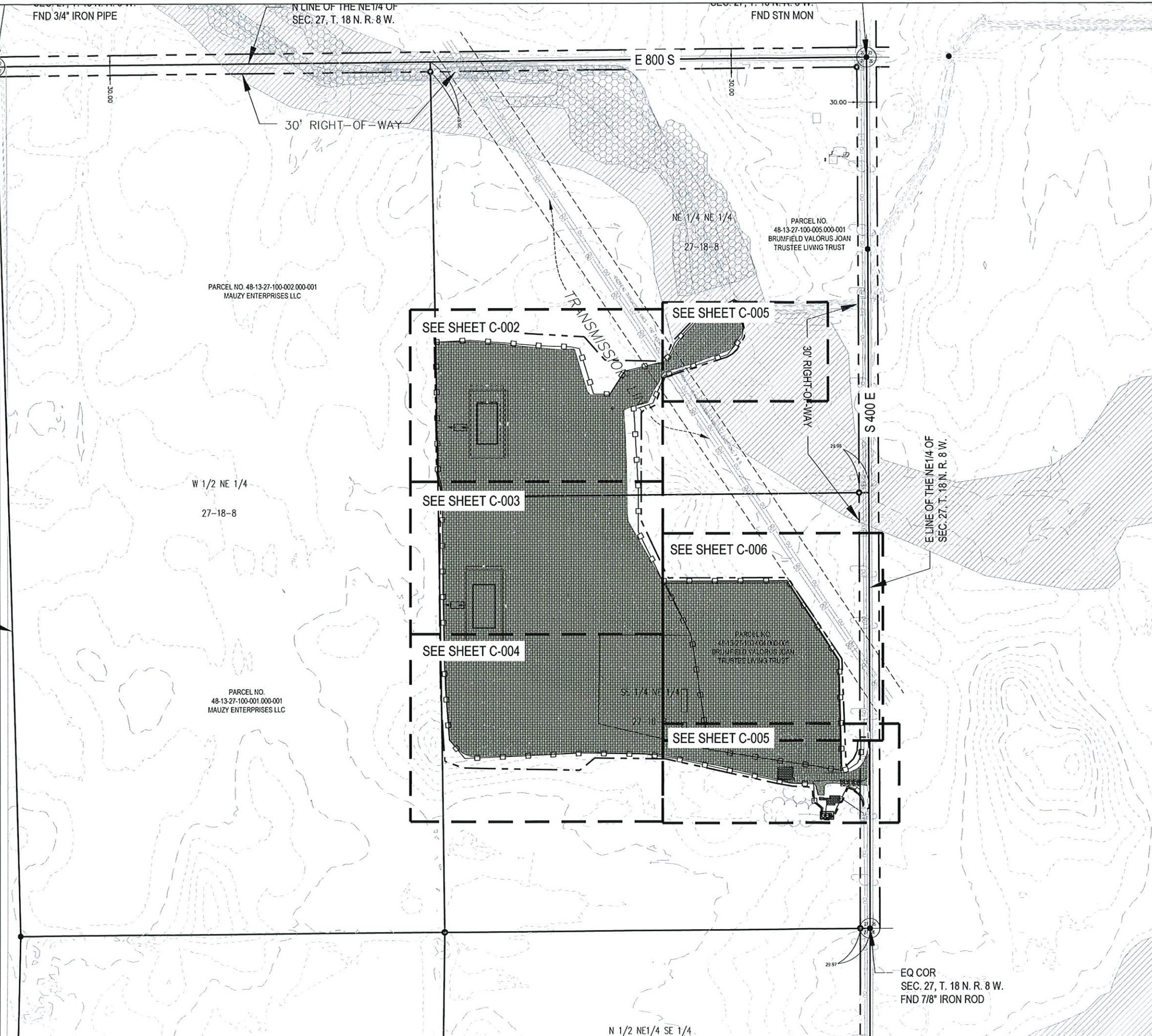
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED EXISTING CONDITIONS
SHEET NO.:	G-005

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- LEGEND**
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - RIGHT OF WAY LINE
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING
 - IDNR FLOODPLAIN
 - TOPSOIL STRIPPING AREA
 - CONSTRUCTION LIMITS
 - STABILIZED CONSTRUCTION EXIT
 - SILT FENCE
 - TEMPORARY SEDIMENT TRAP DISCHARGE
 - EXISTING FLOW PATH
 - 901 EXISTING MINOR CONTOUR
 - 900 EXISTING MAJOR CONTOUR

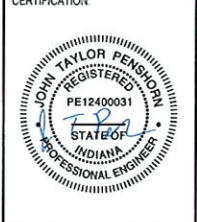
- NOTES**
1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 2. CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 3. CLEAR AND GRUB AS NEEDED WITHIN THE LIMITS OF DISTURBANCE AND REMOVE INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
 4. EXISTING UTILITY SERVICE LINES MAY NOT BE SHOWN IN THEIR ENTIRETY ON PLANS. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITY SERVICE LINES WITHIN THE LIMITS OF DISTURBANCE.

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LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	OVERALL REMOVALS AND PRE-CONSTRUCTION EROSION CONTROL PLAN
SHEET NO.:	C-001

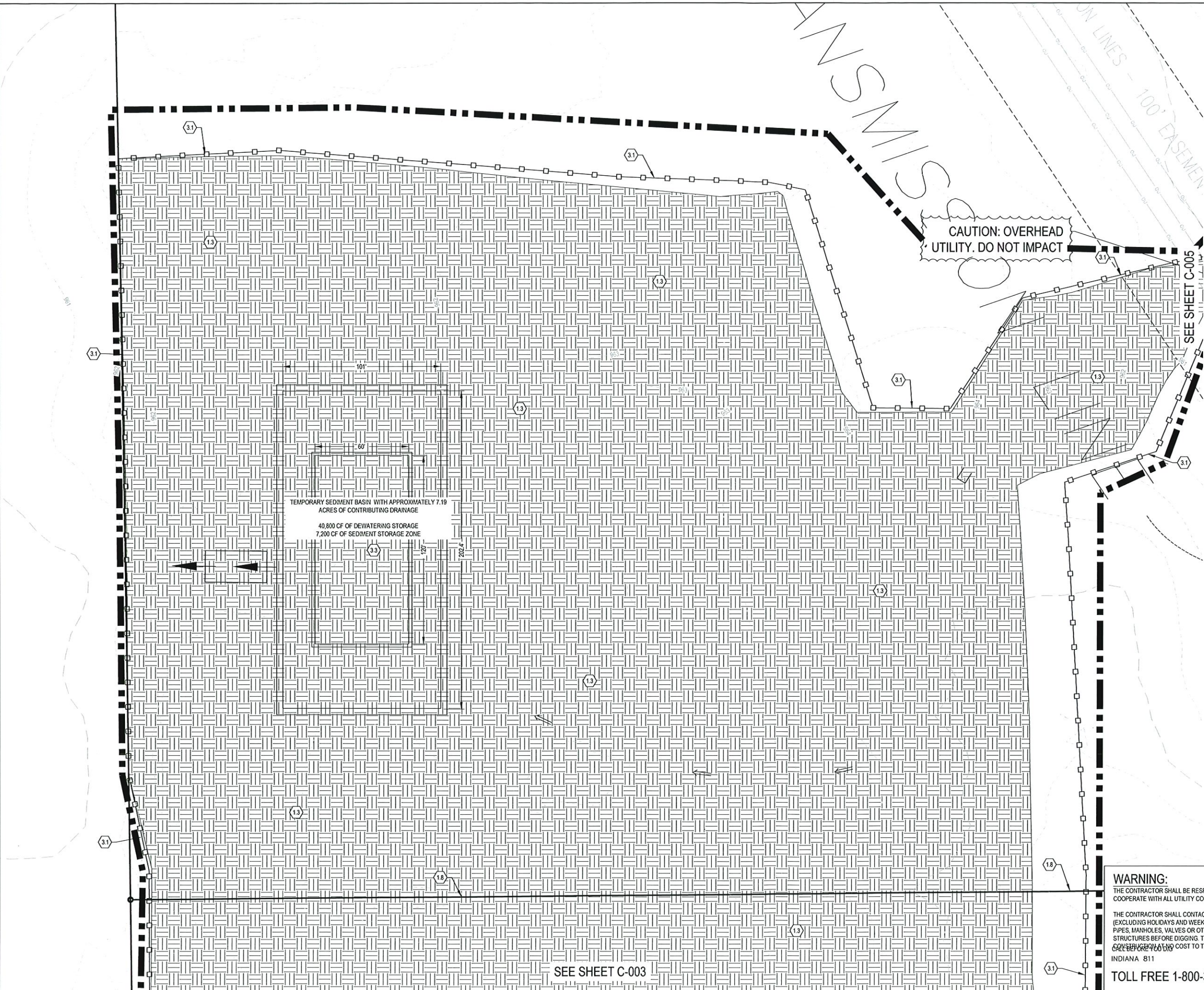
WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

INDIANA 811
 TOLL FREE 1-800-382-5544

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LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- RIGHT OF WAY LINE
- REMOVE GRAVEL SURFACING
- REMOVE BUILDING
- IDNR FLOODPLAIN
- TOPSOIL STRIPPING AREA
- CONSTRUCTION LIMITS
- STABILIZED CONSTRUCTION EXIT
- SILT FENCE
- TEMPORARY SEDIMENT TRAP DISCHARGE
- EXISTING FLOW PATH
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR

- ### NOTES
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - CLEAR AND GRUB AS NEEDED WITHIN THE LIMITS OF DISTURBANCE AND REMOVE INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
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- ### KEYNOTES
- REMOVAL ITEMS
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING/STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND MAILBOX
 - TOPSOIL STRIPPING AREA
 - REMOVE FENCE
 - REMOVE SEPTIC TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE PROPANE TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES, COORDINATE WITH UTILITY PROVIDER
 - ABANDON PROPERTY LINE
 - PROTECT ITEMS
 - PROTECT EXISTING OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES
 - PROTECT TREES/BRUSH
 - PROTECT EXISTING FENCE
 - PROTECT EXISTING ROADWAY ASPHALT
 - EROSION CONTROL ITEMS
 - SILT FENCE - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - TEMPORARY SEDIMENT BASIN - SEE DETAIL 2/C-803

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INDIANA 811

Indiana811.org

TOLL FREE 1-800-382-5544

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 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

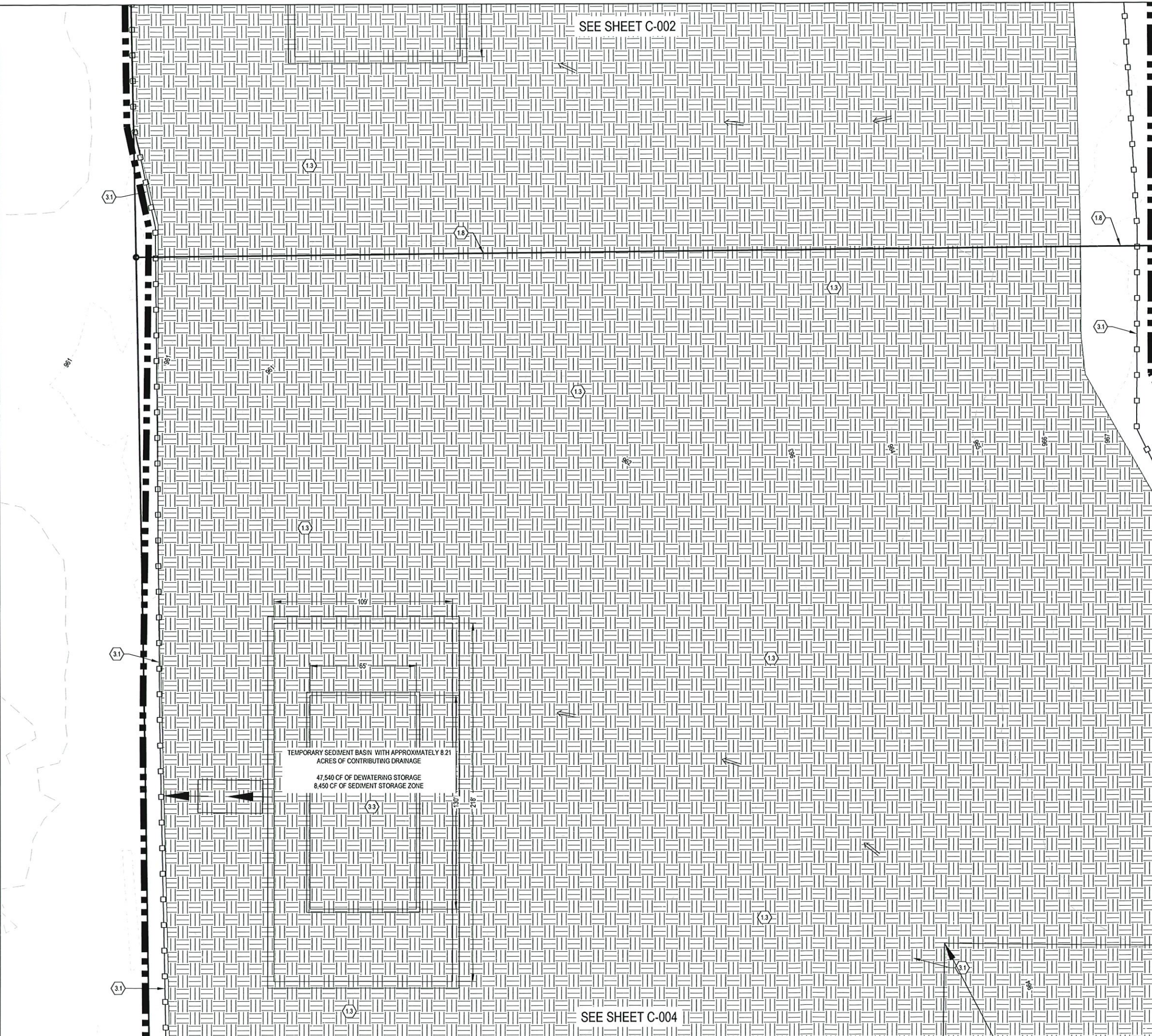
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II

CERTIFICATION:

PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
SHEET NO.:	C-002

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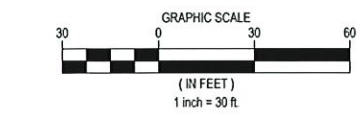
SEE SHEET C-002

SEE SHEET C-004

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WWW.STANTEC.COM

CLIENT:
Jupiter
POWER

PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056



- LEGEND**
- PROPERTY BOUNDARY
 - - - EASEMENT LINE
 - - - RIGHT OF WAY LINE
 - [Hatched Box] REMOVE GRAVEL SURFACING
 - [Hatched Box] REMOVE BUILDING
 - [Hatched Box] IDNR FLOODPLAIN
 - [Hatched Box] TOPSOIL STRIPPING AREA
 - [Thick Dashed Line] CONSTRUCTION LIMITS
 - [Hatched Box] STABILIZED CONSTRUCTION EXIT
 - [Line with Squares] SILT FENCE
 - [Arrow] TEMPORARY SEDIMENT TRAP DISCHARGE
 - [Arrow] EXISTING FLOW PATH
 - - - 901 EXISTING MINOR CONTOUR
 - - - 900 EXISTING MAJOR CONTOUR

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
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- KEYNOTES**
- REMOVAL ITEMS
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING/STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND MAILBOX
 - TOPSOIL STRIPPING AREA
 - REMOVE FENCE
 - REMOVE SEPTIC TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE PROPANE TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES, COORDINATE WITH UTILITY PROVIDER
 - ABANDON PROPERTY LINE
 - PROTECT ITEMS
 - PROTECT EXISTING OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES
 - PROTECT TREES/BRUSH
 - PROTECT EXISTING FENCE
 - PROTECT EXISTING ROADWAY ASPHALT
 - EROSION CONTROL ITEMS
 - SILT FENCE - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - TEMPORARY SEDIMENT BASIN - SEE DETAIL 2/C-803

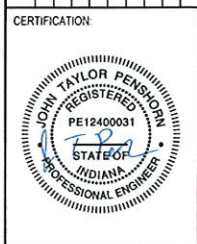
WARNING:
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INDIANA 811

TOLL FREE 1-800-382-5544

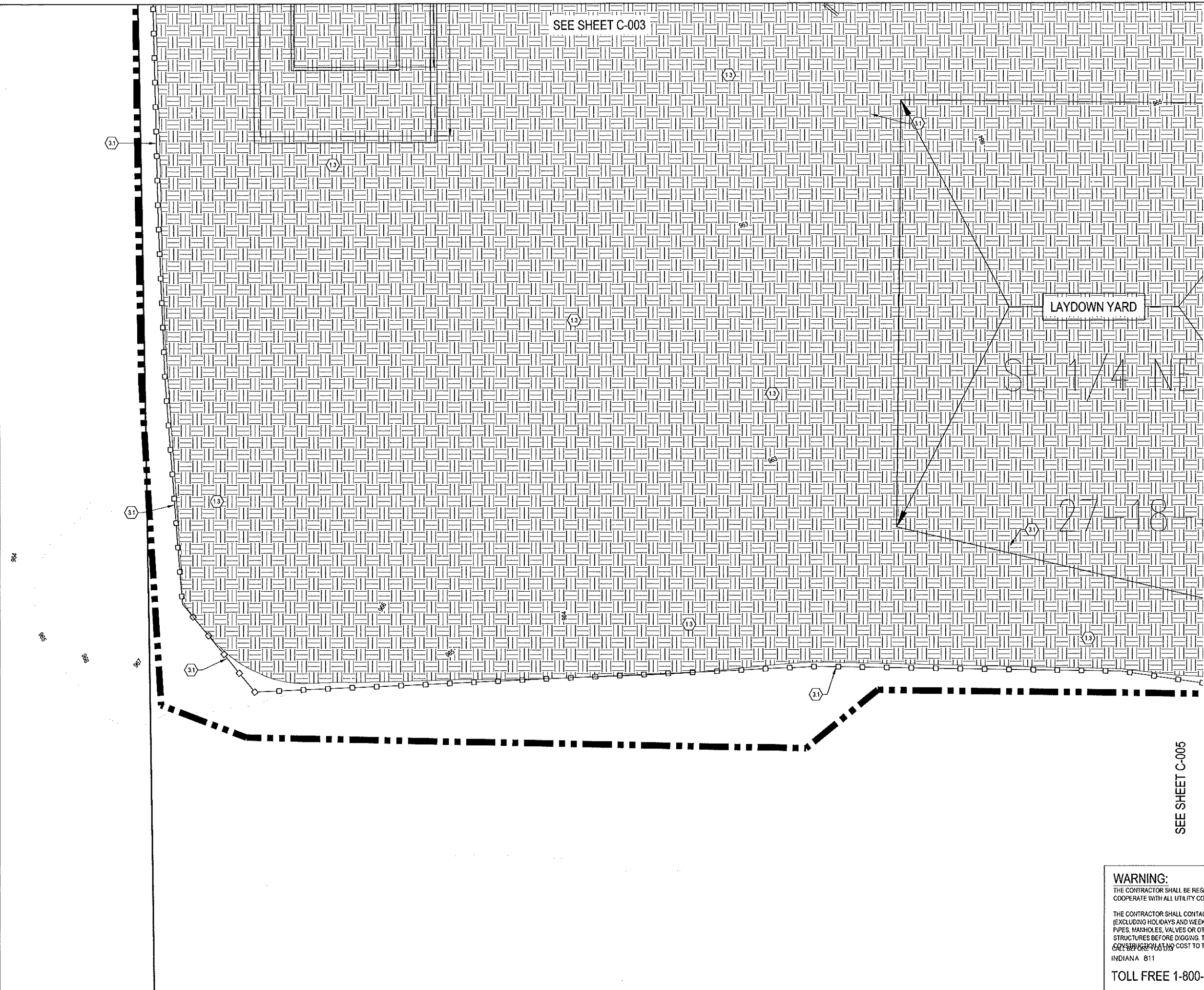


DATE:	DESCRIPTION:	ISSUE NO.:
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO.:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
SHEET NO.:	C-003

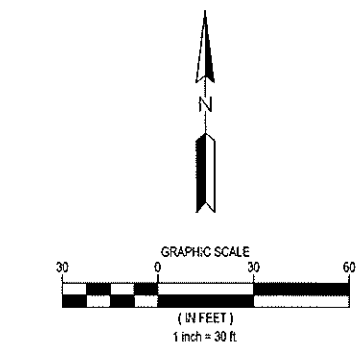
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 2321 CLUB VERDIAN DRIVE
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 OKEMOS, MI 48824
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056



- LEGEND**
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - RIGHT OF WAY LINE
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING
 - EXISTING FLOODPLAIN
 - TOPSOIL STRIPPING AREA
 - CONSTRUCTION LIMITS
 - STABILIZED CONSTRUCTION EXIT
 - SILT FENCE
 - TEMPORARY SEDIMENT TRAP DISCHARGE
 - EXISTING FLOW PATH
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SITE SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - CLEAR AND GRUB AS NEEDED WITHIN THE LIMITS OF DISTURBANCE AND REMOVE INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
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- KEYNOTES**
- REMOVAL ITEMS
 - REMOVE GRAVEL SURFACING
 - REMOVE BUILDING STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND MAILBOX
 - TOPSOIL STRIPPING AREA
 - REMOVE FENCE
 - REMOVE SEPTIC TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE PROPANE TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - REMOVE OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES, COORDINATE WITH UTILITY PROVIDER
 - ABANDON PROPERTY LINE
 - PROTECT ITEMS
 - PROTECT EXISTING OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES
 - PROTECT TREES/BRUSH
 - PROTECT EXISTING FENCE
 - PROTECT EXISTING ROADWAY ASPHALT
 - EROSION CONTROL ITEMS
 - SILT FENCE - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - TEMPORARY SEDIMENT BASH - SEE DETAIL 2/C-803

WARNING:
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 INDIANA 811

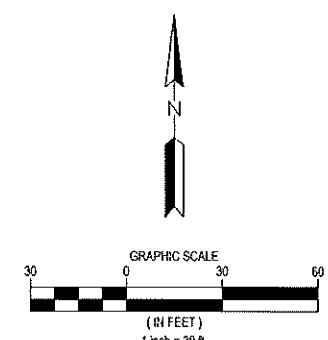
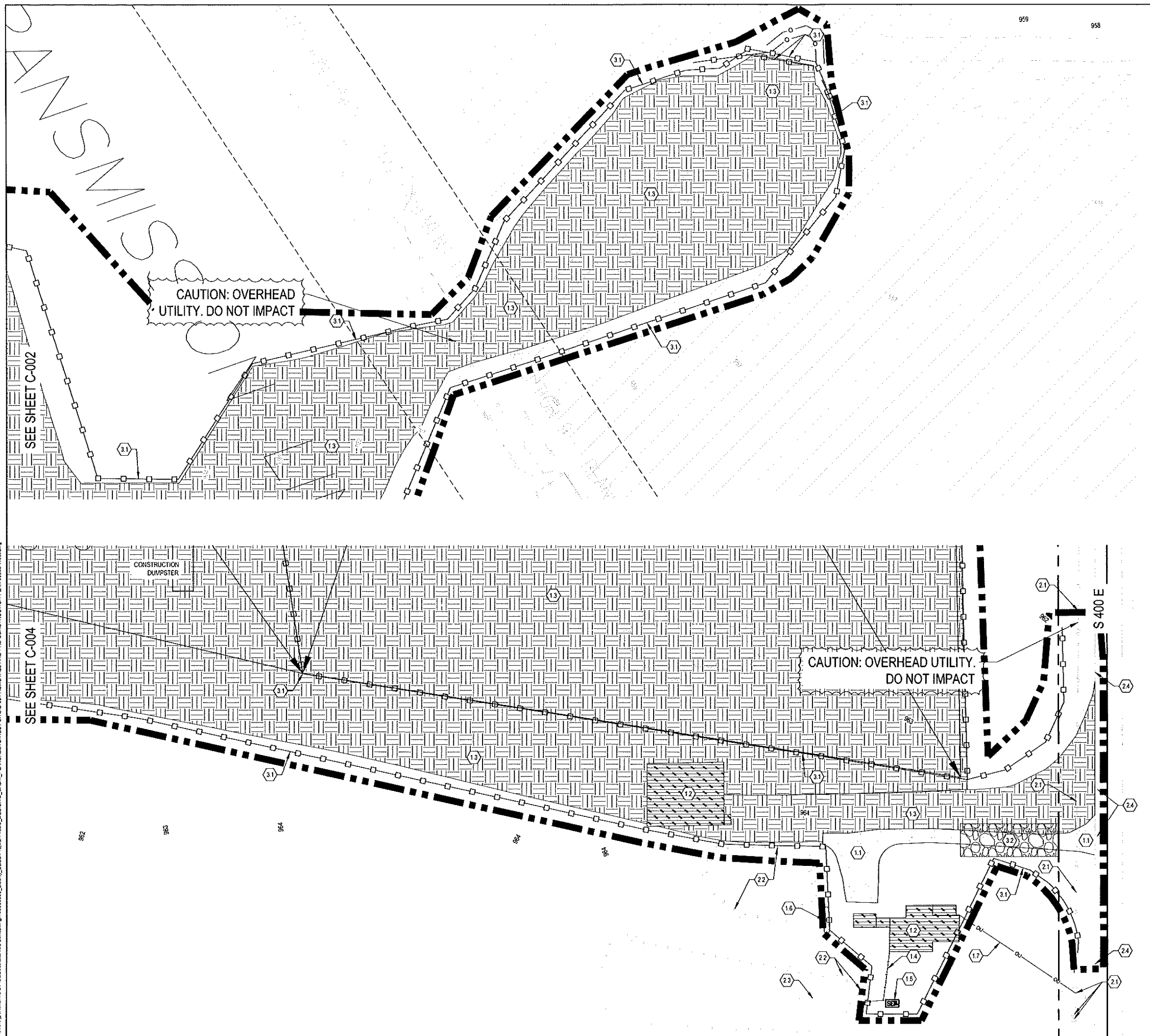
Indiana811.org
 TOLL FREE 1-800-382-5544

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II

CERTIFICATION

PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
SHEET NO.:	C-004

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LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- RIGHT OF WAY LINE
- REMOVE GRAVEL SURFACING
- REMOVE BUILDING
- IDNR FLOODPLAIN
- TOPSOIL STRIPPING AREA
- CONSTRUCTION LIMITS
- STABILIZED CONSTRUCTION EXIT
- SILT FENCE
- TEMPORARY SEDIMENT TRAP DISCHARGE
- EXISTING FLOW PATH
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR

NOTES

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3. CLEAR AND GRUB AS NEEDED WITHIN THE LIMITS OF DISTURBANCE AND REMOVE INFRASTRUCTURE AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS.
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KEYNOTES

1. REMOVAL ITEMS
 - 1.1. REMOVE GRAVEL SURFACING
 - 1.2. REMOVE BUILDING/STRUCTURE AND FOUNDATIONS, ANY UTILITY SERVICES, AND MAILBOX
 - 1.3. TOPSOIL STRIPPING AREA
 - 1.4. REMOVE FENCE
 - 1.5. REMOVE SEPTIC TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - 1.6. REMOVE PROPANE TANK IN ACCORDANCE WITH STATE LAWS AND REGULATIONS
 - 1.7. REMOVE OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES, COORDINATE WITH UTILITY PROVIDER
 - 1.8. ABANDON PROPERTY LINE
2. PROTECT ITEMS
 - 2.1. PROTECT EXISTING OVERHEAD UTILITY LINES, STRUCTURES, POLES, AND ALL APPURTENANCES
 - 2.2. PROTECT TREES/BRUSH
 - 2.3. PROTECT EXISTING FENCE
 - 2.4. PROTECT EXISTING ROADWAY ASPHALT
3. EROSION CONTROL ITEMS
 - 3.1. SILT FENCE - SEE DETAIL 1C-801
 - 3.2. STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2C-801
 - 3.3. TEMPORARY SEDIMENT BASIN - SEE DETAIL 2C-803

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 INDIANA 811

TOLL FREE 1-800-382-5544

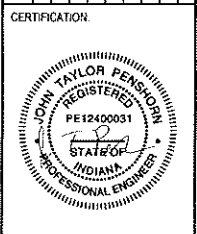


Stantec
 2321 CLUB MERIDIAN DRIVE
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 CARMEL, IN 46034
 PHONE: 317-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II

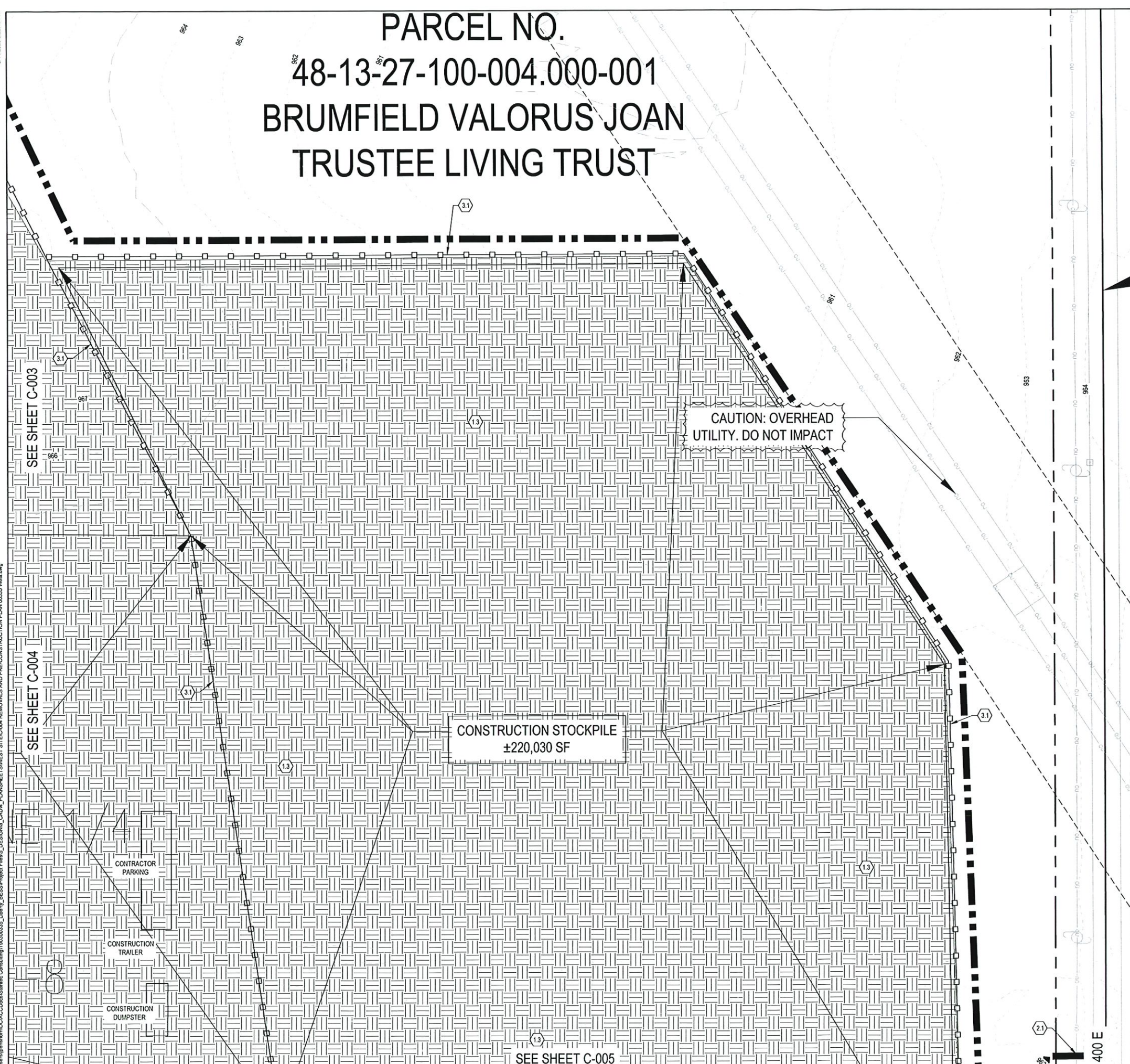


PROJECT NO:	190300335
DRAWN BY:	THR
CHECKED BY:	RAG
APPROVED BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN
SHEET NO.:	C-005

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PARCEL NO. 48-13-27-100-004.000-001 BRUMFIELD VALORUS JOAN TRUSTEE LIVING TRUST



CAUTION: OVERHEAD
UTILITY. DO NOT IMPACT

CONSTRUCTION STOCKPILE
±220,030 SF

SEE SHEET C-003

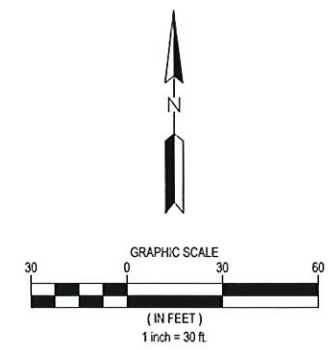
SEE SHEET C-004

SEE SHEET C-005

CONTRACTOR
PARKING

CONSTRUCTION
TRAILER

CONSTRUCTION
DUMPSTER



LEGEND

	PROPERTY BOUNDARY
	EASEMENT LINE
	RIGHT OF WAY LINE
	REMOVE GRAVEL SURFACING
	REMOVE BUILDING
	IDNR FLOODPLAIN
	TOPSOIL STRIPPING AREA
	CONSTRUCTION LIMITS
	STABILIZED CONSTRUCTION EXIT
	SILT FENCE
	TEMPORARY SEDIMENT TRAP DISCHARGE
	EXISTING FLOW PATH
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR

- NOTES**
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- KEYNOTES**
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 - PROTECT ITEMS
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 - PROTECT TREES/BRUSH
 - PROTECT EXISTING FENCE
 - PROTECT EXISTING ROADWAY ASPHALT
 - EROSION CONTROL ITEMS
 - SILT FENCE - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
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INDIANA 811

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OKEMOS, MI 48864
PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:
Jupiter POWER

PROJECT TITLE:
LIBERTY II

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

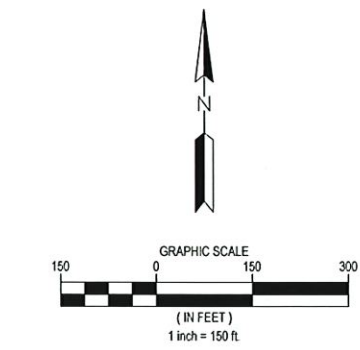
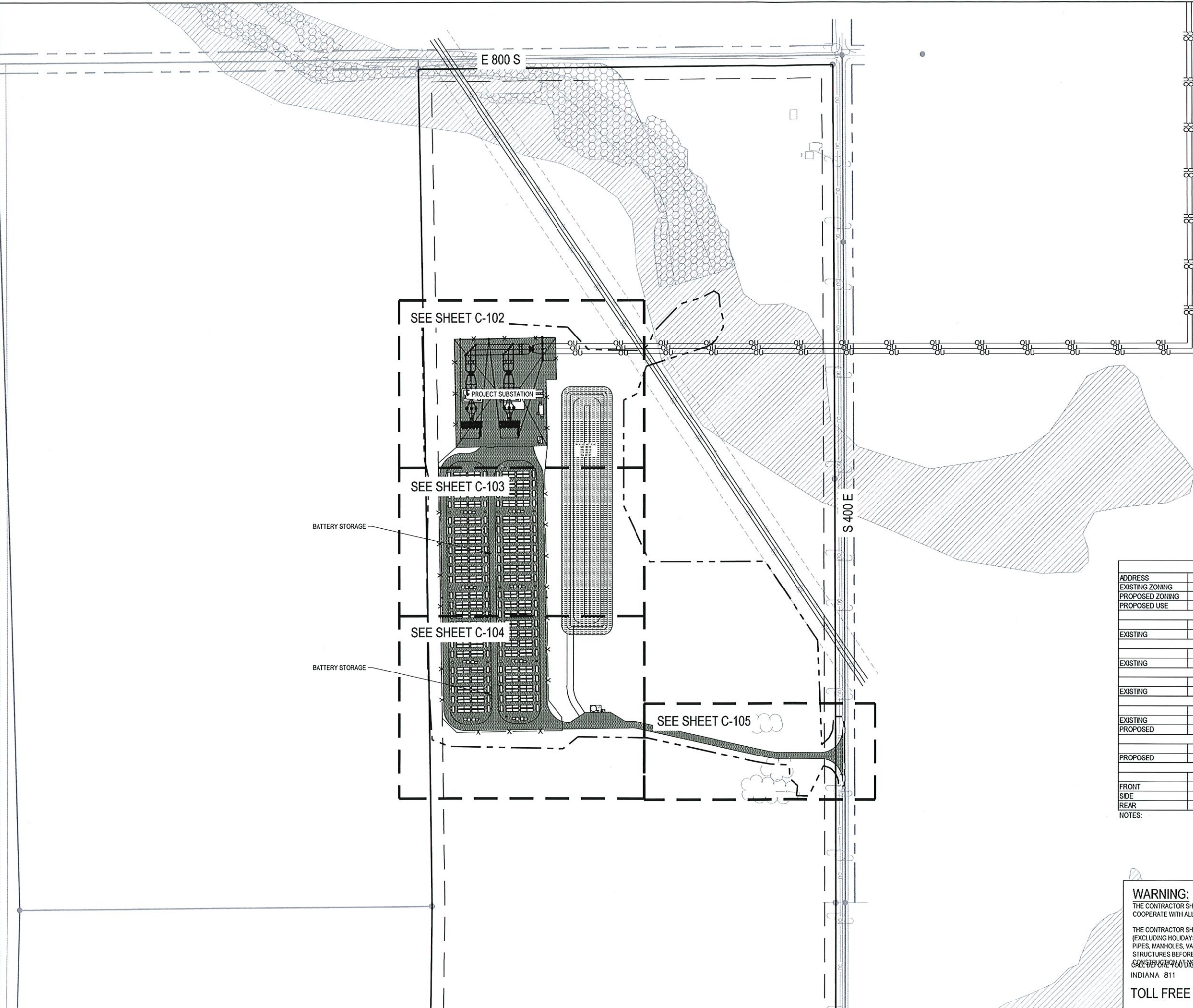
ISSUE NO.:	1
DATE:	05/04/2026
DESCRIPTION:	SITE PLAN SUBMITTAL

CERTIFICATION:

PROJECT NO.:	190300335				
DWN BY:	THR	CHKD BY:	RAG	APPD BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	ENLARGED REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN				
SHEET NO.:	C-006				

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LEGEND

	PROPERTY BOUNDARY
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING OVERHEAD UTILITY LINE
	PROPOSED OVERHEAD UTILITY LINE
	FENCE
	GRAVEL SURFACING
	CONCRETE PAVEMENT
	CONSTRUCTION LIMITS
	DRAINAGE EASEMENT
	IDNR FLOODPLAIN
	WET POND
	66' LIGHTNING MAST
	30' LIGHT POLE

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - DESIGN BY OTHERS ITEMS SHOWN FOR REFERENCE ONLY. EXACT LOCATION, DETAIL, AND DESIGN BY OTHERS COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION DOCUMENTS/DRAWINGS.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

SITE ANALYSIS TABLE

ADDRESS	8425 SOUTH COUNTY ROAD 400 EAST		
EXISTING ZONING	AGRICULTURAL		
PROPOSED ZONING	GENERAL INDUSTRIAL		
PROPOSED USE	BATTERY ENERGY STORAGE SYSTEM AND ENERGY SUBSTATION		
	EXISTING 48-13-27-100-005-000-001 LOT AREA SUMMARY		
	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING	40.32	0.55	39.77
	EXISTING 48-13-27-100-004-000-001 LOT AREA SUMMARY		
	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING	39.84	0.39	39.45
	EXISTING 48-13-27-400-005-000-001 LOT AREA SUMMARY		
	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING	20.00	0.14	19.86
	PROPOSED LOT AREA SUMMARY		
	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
EXISTING	96.96	1.08	95.90
PROPOSED	96.96	9.39 (9.68%)	87.59
	PROPOSED R.O.W. DEDICATION AREA SUMMARY		
	TOTAL AREA (AC.)	IMPERVIOUS AREA (AC.)	PERVIOUS AREA (AC.)
PROPOSED	3.18	0.91	2.27
	SETBACK SUMMARY		
	REQUIRED	PROPOSED	
FRONT	35'	861.9'	
SIDE	40'	844.4'	
REAR	40'	40'	

NOTES:

2321 CLUB MERIDIAN DRIVE
SUITE E
OKEMOS, MI 48864
PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:

PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

ISSUE NO.:	1
DESCRIPTION:	SITE PLAN SUBMITTAL
DATE:	05/04/2026
CERTIFICATION:	



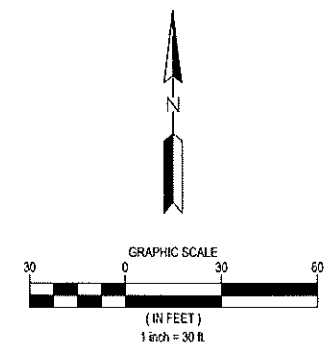
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DWN BY:	THR	CHKD BY:	RAG	APPD BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	OVERALL SITE PLAN				
SHEET NO.:	C-101				

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT THE COST TO THE OWNER.

INDIANA 811
TOLL FREE 1-800-382-5544

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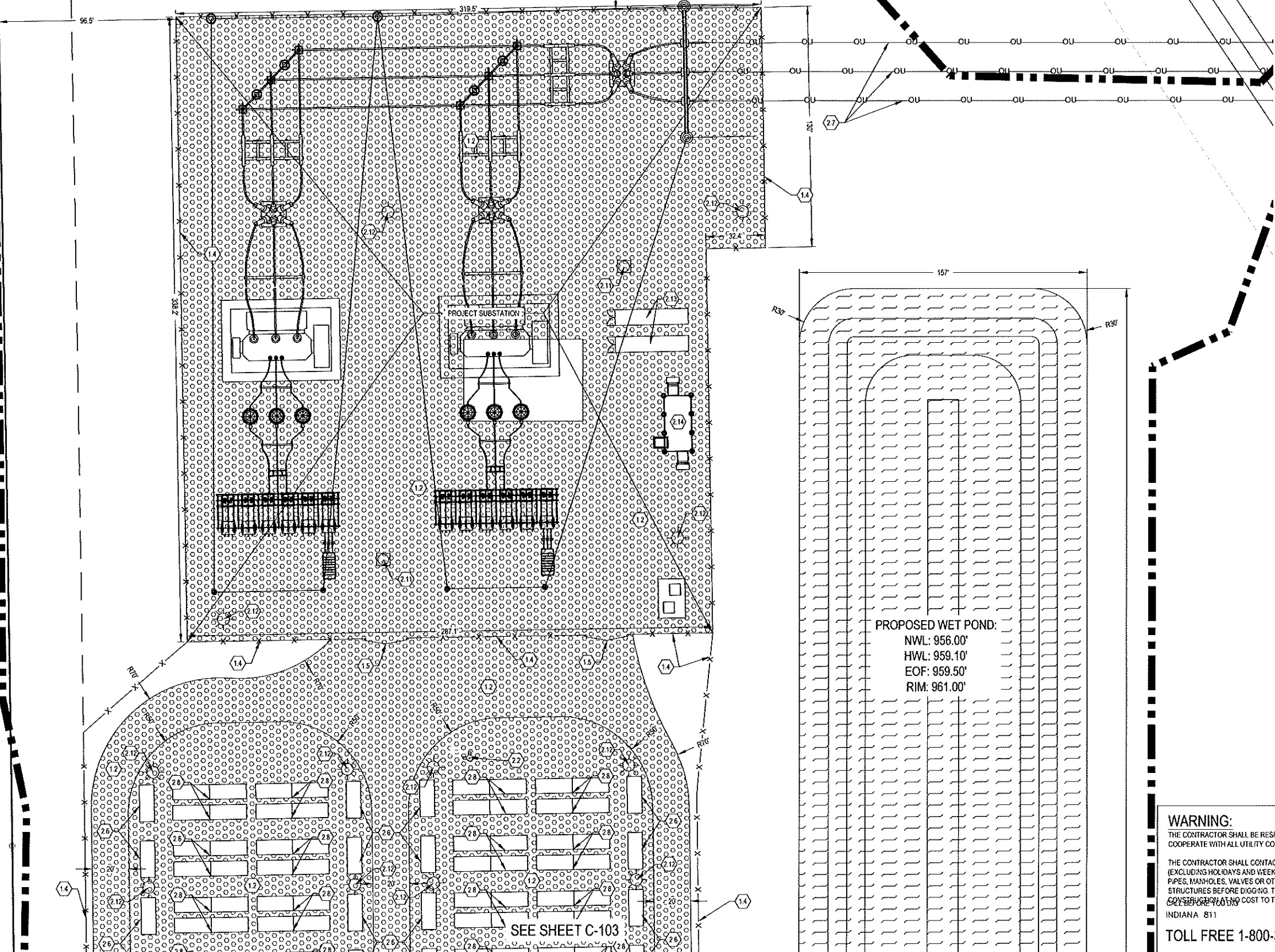


- LEGEND**
- PROPERTY BOUNDARY
 - EASEMENT LINE
 - SETBACK LINE
 - RIGHT OF WAY LINE
 - EXISTING OVERHEAD UTILITY LINE
 - PROPOSED OVERHEAD UTILITY LINE
 - FENCE
 - GRAVEL SURFACING
 - CONCRETE PAVEMENT
 - CONSTRUCTION LIMITS
 - DRAINAGE EASEMENT
 - 10HR FLOODPLAIN
 - WET POND
 - 66' LIGHTNING MAST
 - 30' LIGHT POLE

- NOTES**
1. SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 2. DESIGN BY OTHERS ITEMS SHOWN FOR REFERENCE ONLY. EXACT LOCATION, DETAIL, AND DESIGN BY OTHERS. COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION DOCUMENTS/DRAWINGS.
 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

- KEYNOTES**
1. STANTEC DESIGN ITEMS
 - 1.1. MATCH EXISTING
 - 1.2. GRAVEL SURFACING - SEE DETAIL 6'C-802
 - 1.3. STOP SIGN - SEE DETAILS 1,5,C-802
 - 1.4. CHAIN LINK FENCE - SEE DETAIL 4,C-802
 - 1.5. 25' WIDE CHAIN LINK FENCE DOUBLE SWING GATE - SEE DETAIL 3,C-802
 2. DESIGN BY OTHERS
 - 2.1. FIRE WATER TANK - 18' DIA.
 - 2.2. HYDRANT
 - 2.3. FIRE COMMAND CENTER
 - 2.4. CONCRETE PAVEMENT - SEE STRUCT. PLANS
 - 2.5. AUXILIARY TRANSFORMER - SEE ELEC. PLANS
 - 2.6. POWER CONVERSION SYSTEM - SEE ELEC. PLANS
 - 2.7. GENERAL TIE - SEE ELEC. PLANS
 - 2.8. BATTERY (TYP.) - SEE ELEC. PLANS
 - 2.9. ACCESS GATE
 - 2.10. MOUNT FACILITY IDENTIFICATION SIGNAGE TO GATE - COORDINATE FINAL PLACEMENT WITH OWNER
 - 2.11. 66' LIGHTNING MAST
 - 2.12. 30' LIGHT POLE
 - 2.13. OPERATIONS AND MAINTENANCE CONNEX (10 FEET TALL)
 - 2.14. CONTROL ENCLOSURE (10 FEET TALL)

PROPOSED WET POND:
 NWL: 956.00'
 HWL: 959.10'
 EOF: 959.50'
 RIM: 961.00'



SEE SHEET C-103

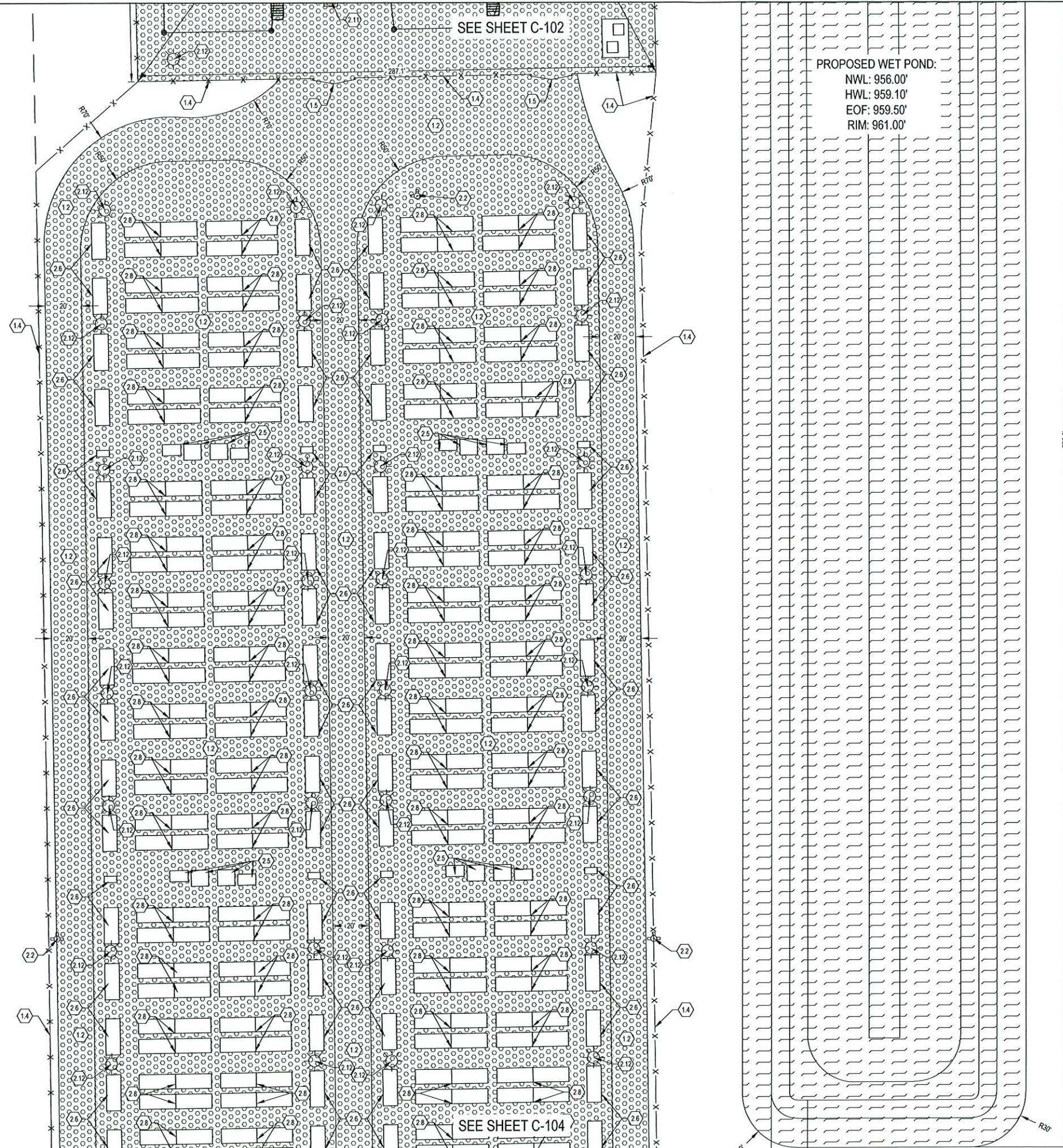
WARNING:
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 THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 INDIANA 811
TOLL FREE 1-800-382-5544



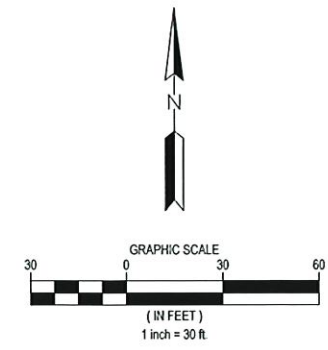
DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II

CERTIFICATION		
PROJECT NO.:	190300335	
DWN BY:	CHKD BY:	APPD BY:
THR	RAG	JTP
ISSUE DATE:	05/04/2026	
ISSUE NO.:	1	
SHEET TITLE:		
ENLARGED SITE PLAN		
SHEET NO.:	C-102	

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 NWL: 956.00'
 HWL: 959.10'
 EOF: 959.50'
 RIM: 961.00'



LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING OVERHEAD UTILITY LINE
- PROPOSED OVERHEAD UTILITY LINE
- FENCE
- GRAVEL SURFACING
- CONCRETE PAVEMENT
- CONSTRUCTION LIMITS
- DRAINAGE EASEMENT
- IDNR FLOODPLAIN
- WET POND
- 66' LIGHTNING MAST
- 30' LIGHT POLE

NOTES

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KEYNOTES

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 - 1.1. MATCH EXISTING
 - 1.2. GRAVEL SURFACING - SEE DETAIL 6/C-802
 - 1.3. STOP SIGN - SEE DETAILS 1.5/C-802
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 - 1.5. 25' WIDE CHAIN LINK FENCE DOUBLE SWING GATE - SEE DETAIL 3/C-802
 - 1.6. POND ACCESS/SAFETY RAMP (GRASSSED)
2. DESIGN BY OTHERS
 - 2.1. FIRE WATER TANK - 18" DIA.
 - 2.2. HYDRANT
 - 2.3. FIRE COMMAND CENTER
 - 2.4. CONCRETE PAVEMENT - SEE STRUCT. PLANS
 - 2.5. AUXILIARY TRANSFORMER - SEE ELEC. PLANS
 - 2.6. POWER CONVERSION SYSTEM - SEE ELEC. PLANS
 - 2.7. GENERAL TIE - SEE ELEC. PLANS
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INDIANA 811
 TOLL FREE 1-800-382-5544

2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:

PROJECT TITLE:
LIBERTY II

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

ISSUE NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	05/04/2026

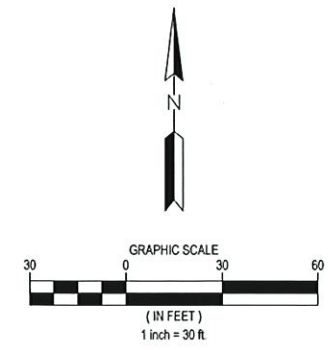
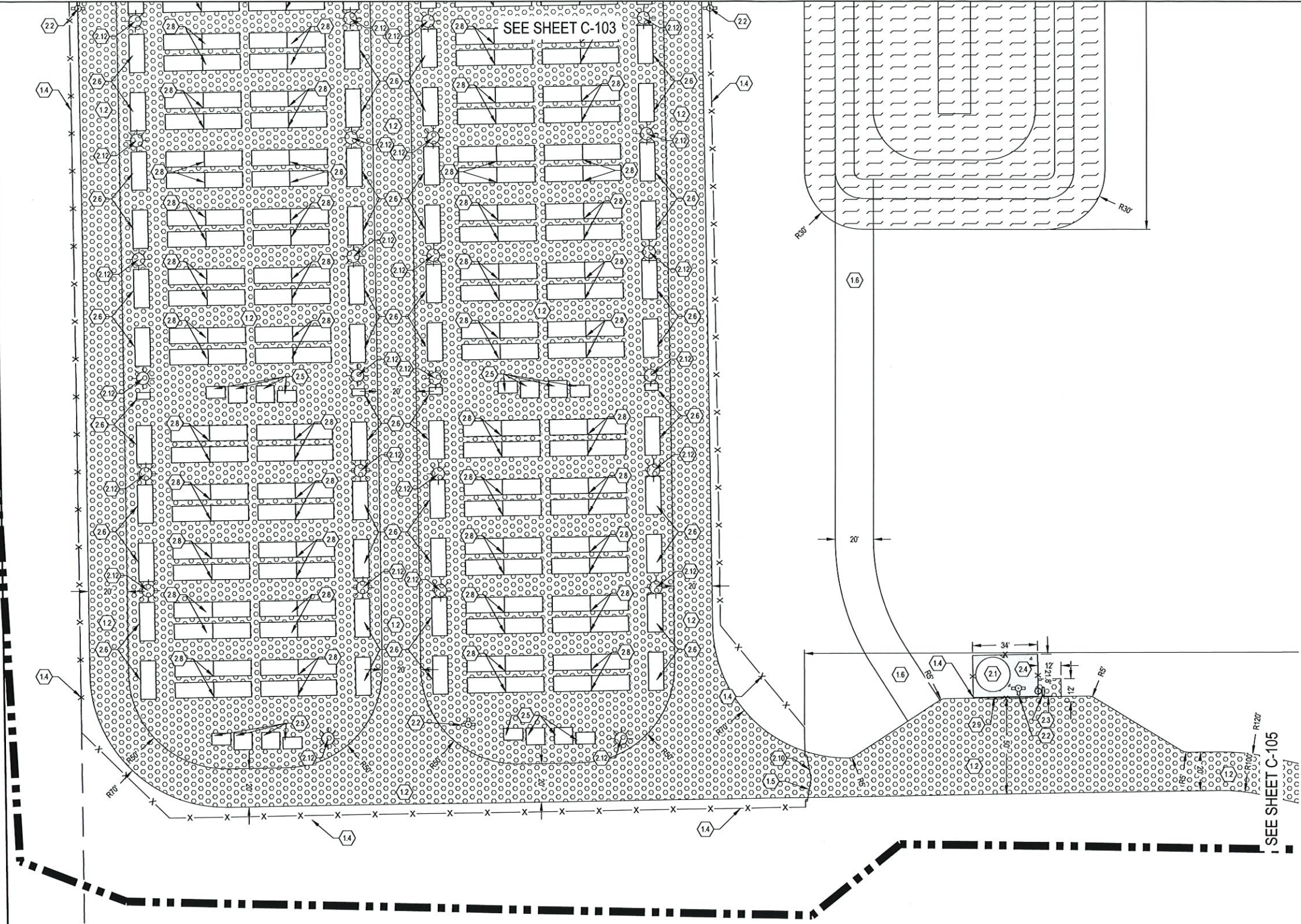
CERTIFICATION:

PROJECT NO.: 190300335

DWN BY: THR	CHKD BY: RAG	APPD BY: JTP
ISSUE DATE: 05/04/2026		
ISSUE NO.: 1		
SHEET TITLE: ENLARGED SITE PLAN		
SHEET NO.: C-103		

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LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- EXISTING OVERHEAD UTILITY LINE
- PROPOSED OVERHEAD UTILITY LINE
- FENCE
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INDIANA 811
TOLL FREE 1-800-382-5544



Stantec
2321 CLUB MERIDIAN DRIVE
SUITE E
OKEMOS, MI 48864
PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:
Jupiter
POWER

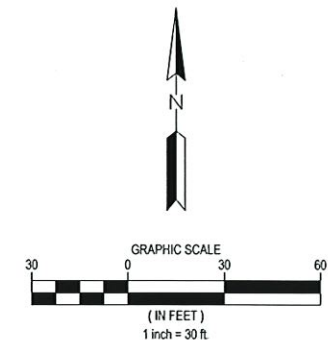
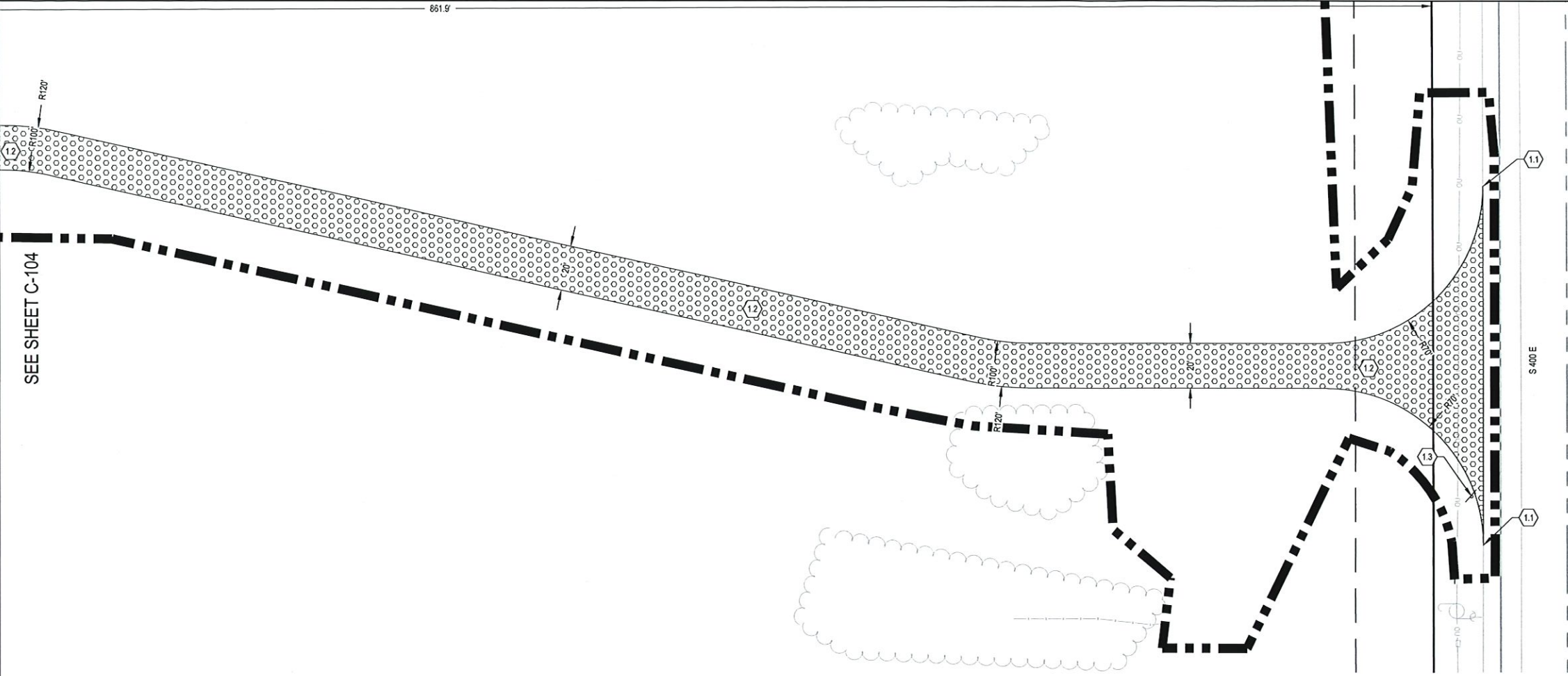
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056
LIBERTY II

DATE	DESCRIPTION	ISSUE NO.
05/04/2020	SITE PLAN SUBMITTAL	1

CERTIFICATION

PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2020
ISSUE NO.:	1
SHEET TITLE:	ENLARGED SITE PLAN
SHEET NO.:	C-104

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LEGEND

	PROPERTY BOUNDARY
	EASEMENT LINE
	SETBACK LINE
	RIGHT OF WAY LINE
	EXISTING OVERHEAD UTILITY LINE
	PROPOSED OVERHEAD UTILITY LINE
	FENCE
	GRAVEL SURFACING
	CONCRETE PAVEMENT
	CONSTRUCTION LIMITS
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- NOTES**
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- KEYNOTES**
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INDIANA 811
 TOLL FREE 1-800-382-5544

Stantec
 2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

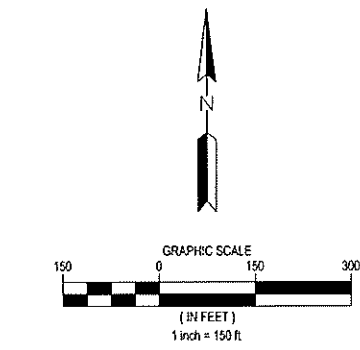
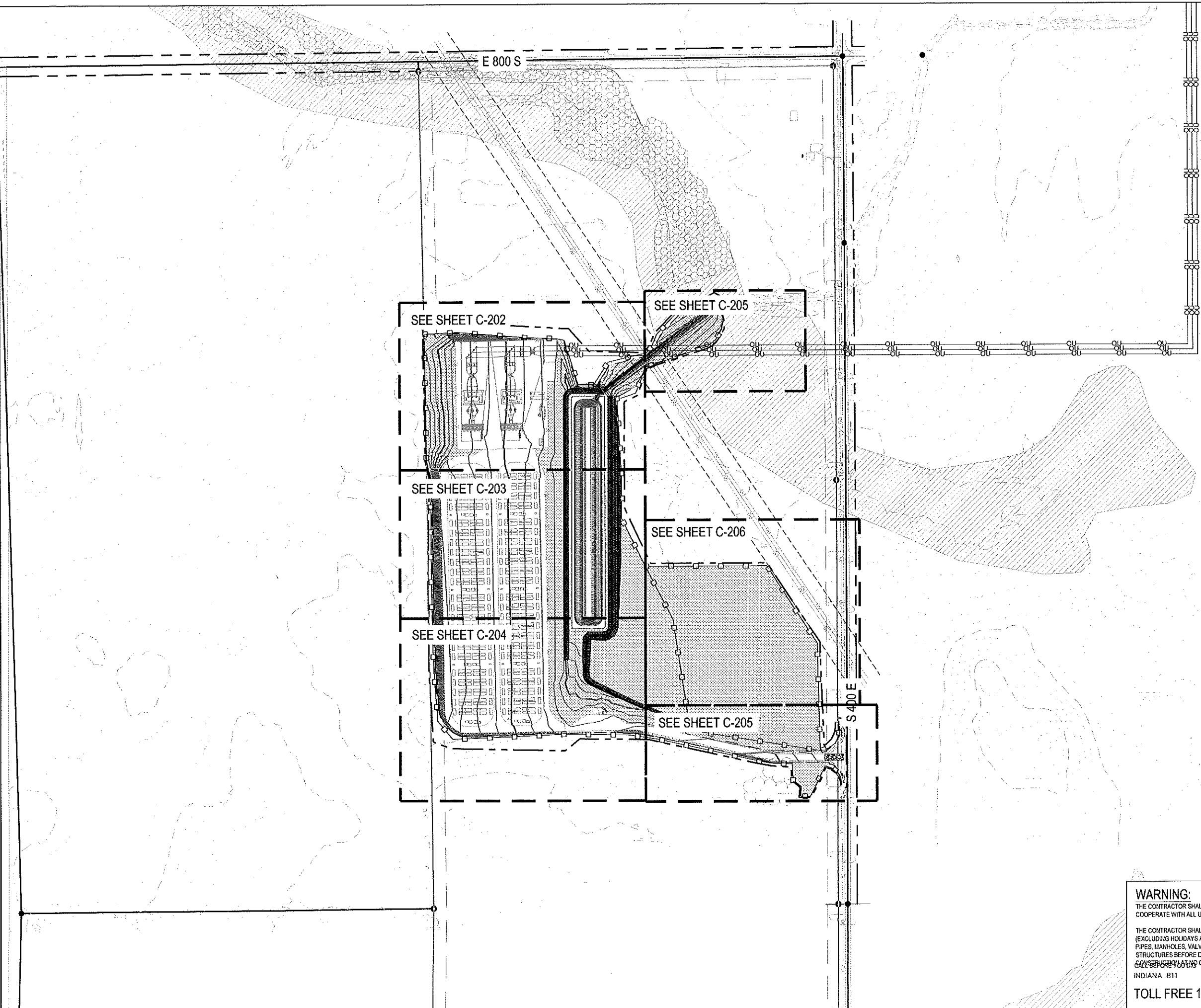
ISSUE NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	05/04/2026



CERTIFICATION:

PROJECT NO: 190300335
 DWN BY: THR
 CHK'D BY: RAG
 APP'D BY: JTP
 ISSUE DATE: 05/04/2026
 ISSUE NO: 1
 SHEET TITLE: ENLARGED SITE PLAN
 SHEET NO: C-105

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LEGEND

	LOT LINE
	EASEMENT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	STABILIZED CONSTRUCTION EXIT
	EROSION CONTROL BLANKET
	SILT FENCE
	BIOROLL
	PERMANENT STABILIZATION
	RIPRAP

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - CONSTRUCTION LIMITS AND SILT FENCE ARE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
 - ROLLED EROSION CONTROL PRODUCT SHALL BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER, AND IN SWALE DITCHES, UPON COMPLETION OF GRADING.

WARNING:
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INDIANA 811

Indiana811.org

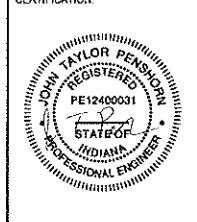
TOLL FREE 1-800-382-5544

Stantec
 2321 CLUB VERDIAN DRIVE
 SUITE E
 OKEMOS, IN 46564
 PHONE: 517-319-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

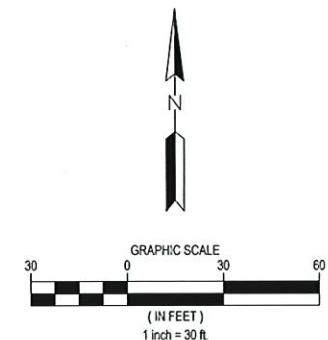
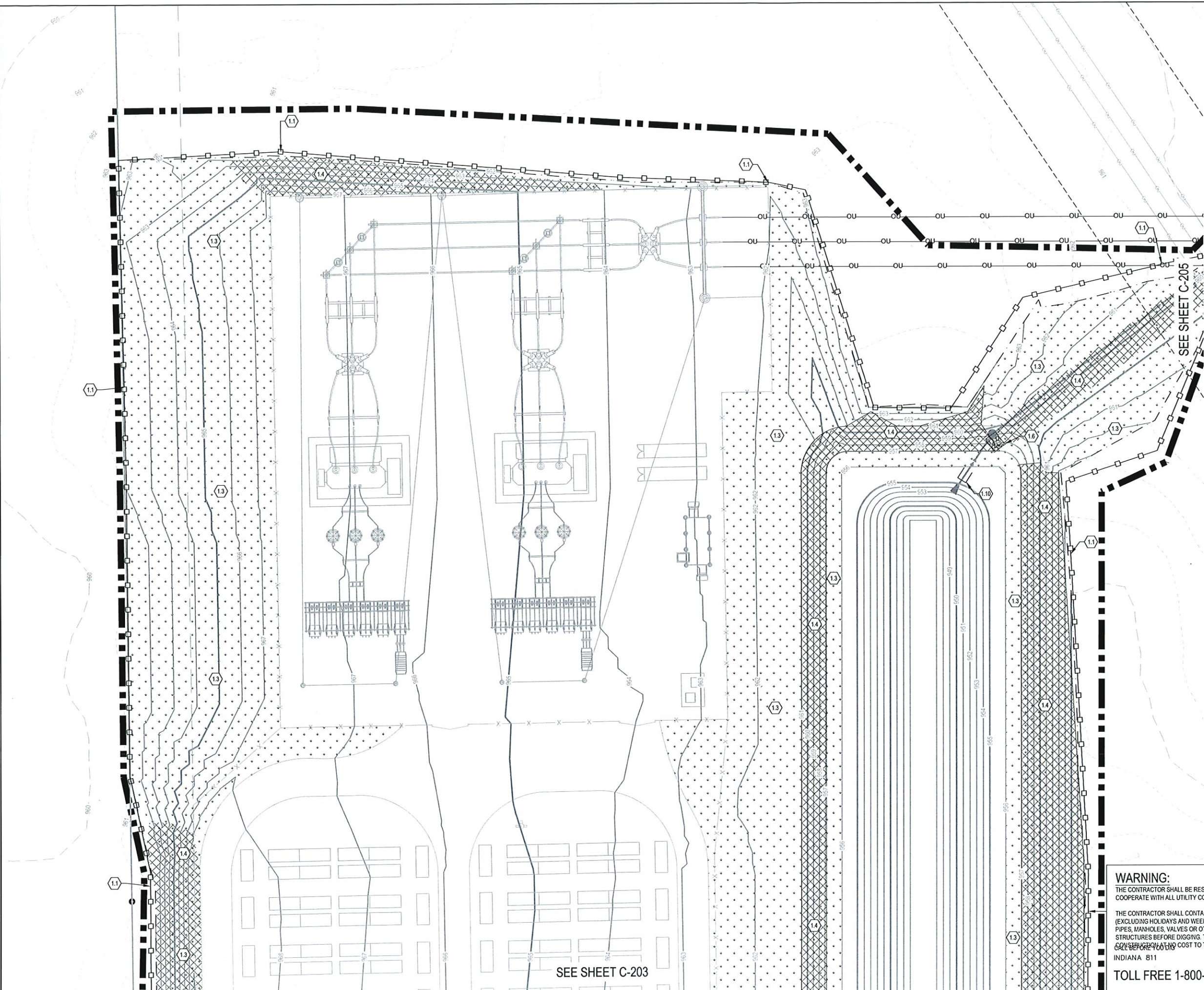
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO.:	190300335
DRAWN BY:	THR
CHECKED BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	OVERALL POST-CONSTRUCTION STABILIZATION PLAN
SHEET NO.:	C-201

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LEGEND

	LOT LINE
	EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	STABILIZED CONSTRUCTION EXIT
	EROSION CONTROL BLANKET
	SILT FENCE
	FLOTATION SILT CURTAIN
	BIOROLL
	PERMANENT STABILIZATION - SEE LANDSCAPE PLANS
	RIPRAP
	CULVERT PROTECTION

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - CONSTRUCTION LIMITS AND SILT FENCE ARE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
 - ROLLED EROSION CONTROL PRODUCT SHALL BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER, AND IN SWALE DITCHES, UPON COMPLETION OF GRADING.

- KEYNOTES**
- EROSION CONTROL ITEMS
 - SILT FENCE MACHINE SLICED - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - PERMANENT STABILIZATION - SEE LANDSCAPE PLAN
 - EROSION CONTROL BLANKET - SEE DETAIL 3/C-801
 - RIPRAP AT OUTLET - SEE DETAIL 5/C-801
 - EMERGENCY OVERFLOW SPILLWAY - SEE DETAIL 4/C-801
 - CULVERT PROTECTION - SEE DETAIL 2/C-802
 - INSTALL CLASS II RIPRAP BANK STABILIZATION TO OHWL. PLACE GRANULAR FILTER BLANKET OR GEOTEXTILE FABRIC, TYPE IV (INDOT SPEC 616.11) UNDER RIPRAP - SEE DETAIL 4/C-803
 - DOUBLE-ROW SILT FENCE - SEE DETAIL 1/C-801
 - DOUBLE-ROW SILT CURTAIN - SEE DETAIL 3/C-803

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INDIANA 811
 TOLL FREE 1-800-382-5544

Stantec
 2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

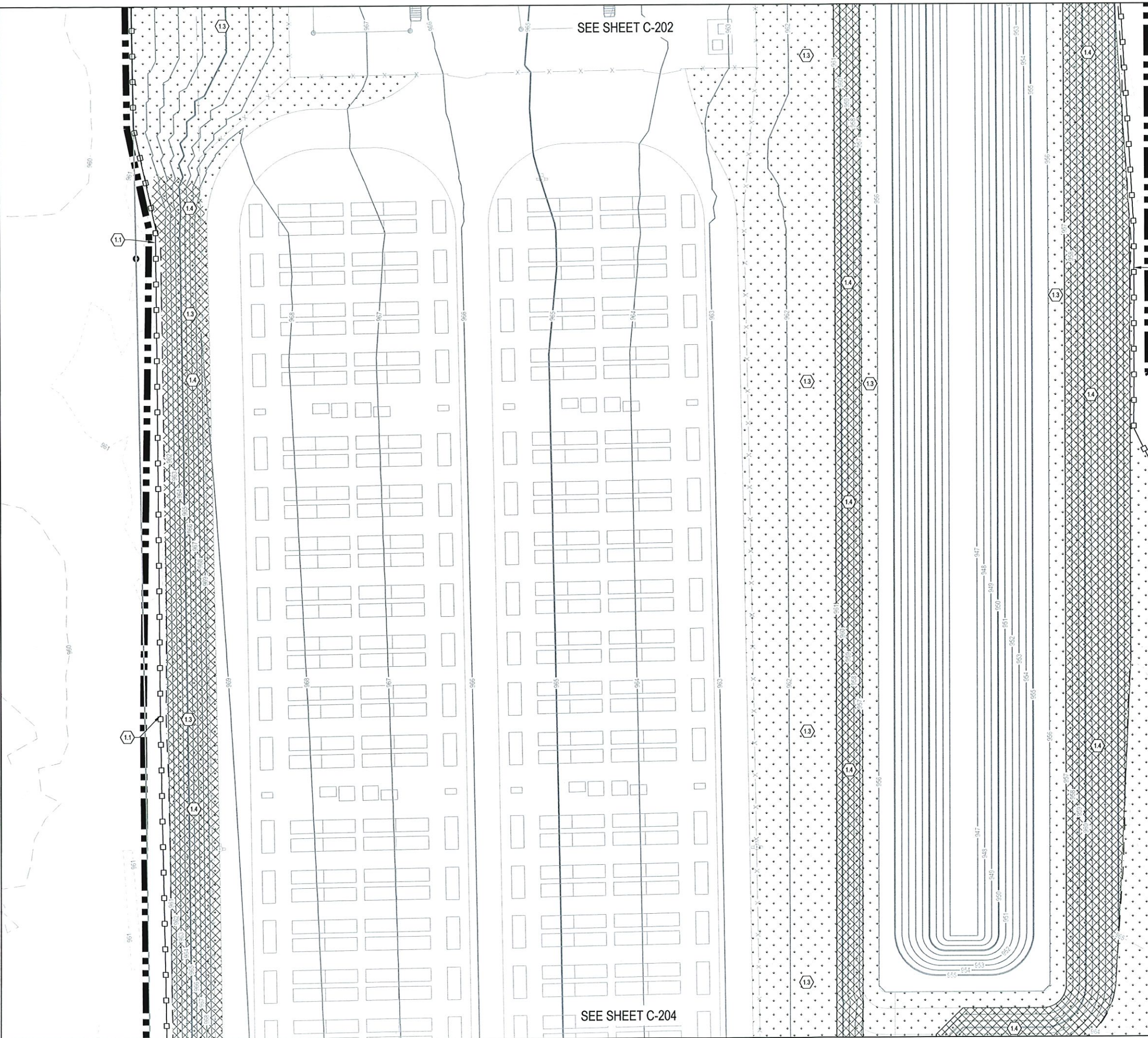
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



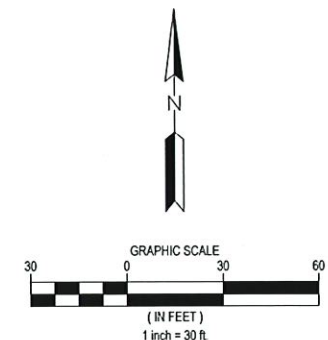
PROJECT NO:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
SHEET NO.:	C-202

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SEE SHEET C-202

SEE SHEET C-204



LEGEND

- LOT LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- STABILIZED CONSTRUCTION EXIT
- EROSION CONTROL BLANKET
- SILT FENCE
- FLOTATION SILT CURTAIN
- BIOROLL
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- RIPRAP
- CULVERT PROTECTION

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 - 1.3. PERMANENT STABILIZATION - SEE LANDSCAPE PLAN
 - 1.4. EROSION CONTROL BLANKET - SEE DETAIL 3/C-801
 - 1.5. RIPRAP AT OUTLET - SEE DETAIL 5/C-801
 - 1.6. EMERGENCY OVERFLOW SPILLWAY - SEE DETAIL 4/C-801
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INDIANA 811
 TOLL FREE 1-800-382-5544

2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:

PROJECT TITLE:

LIBERTY II

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE:	DESCRIPTION:	ISSUE NO.:
05/04/2026	SITE PLAN SUBMITTAL	1

CERTIFICATION:

PROJECT NO.:	190300335
DWN BY:	THR
CHKD BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
SHEET NO.:	C-203

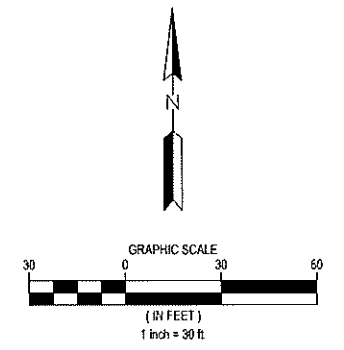
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WWW.STANTEC.COM

CUEWT:
Jupiter
POWER

LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46066

SEE SHEET C-203



LEGEND

- LOT LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- STABILIZED CONSTRUCTION EXIT
- EROSION CONTROL BLANKET
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- BIOROLL
- PERMANENT STABILIZATION - SEE LANDSCAPE PLANS
- RIPRAP
- CULVERT PROTECTION

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SEE SHEET C-205

WARNING:

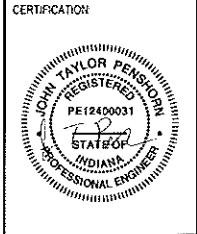
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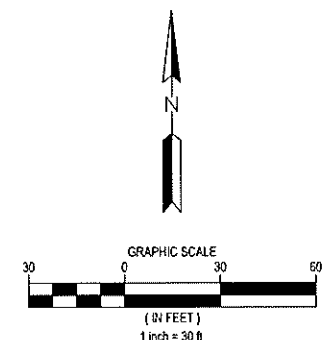
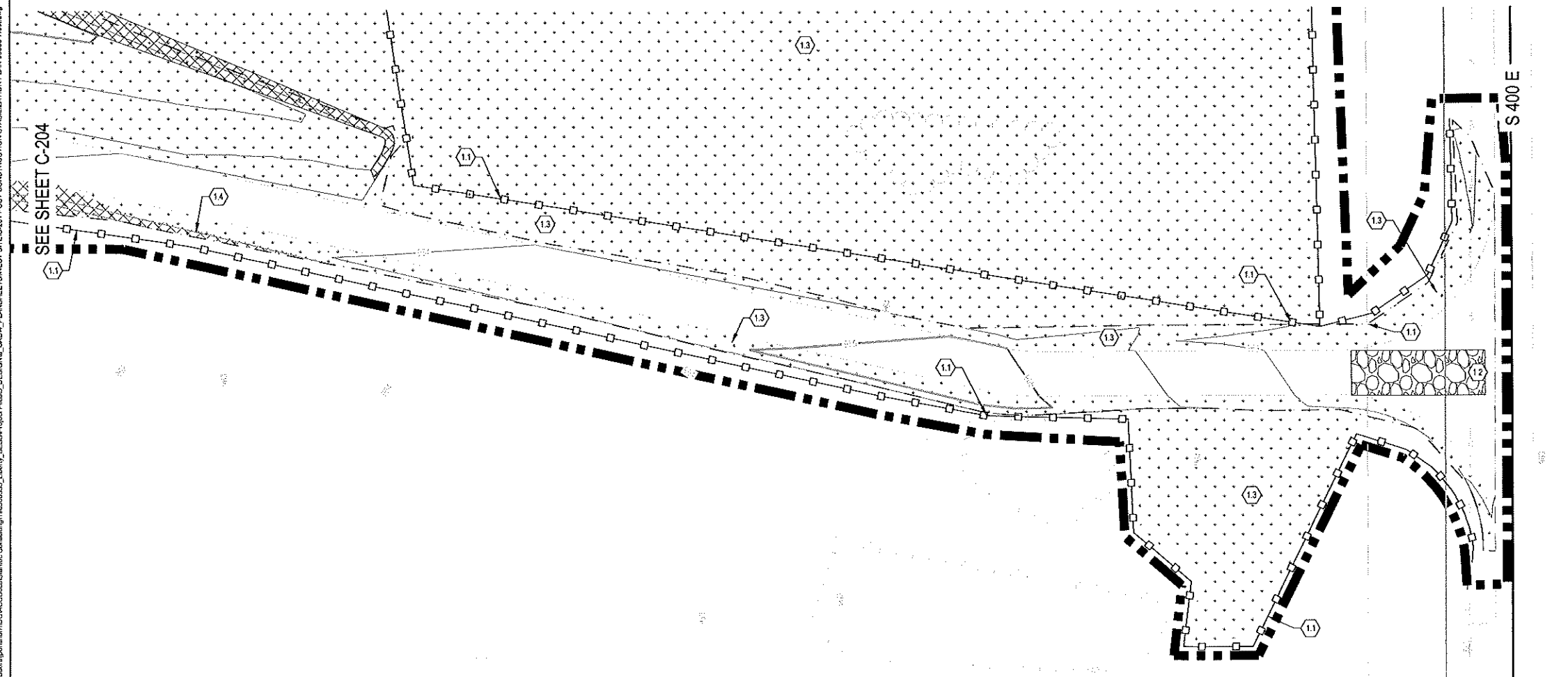
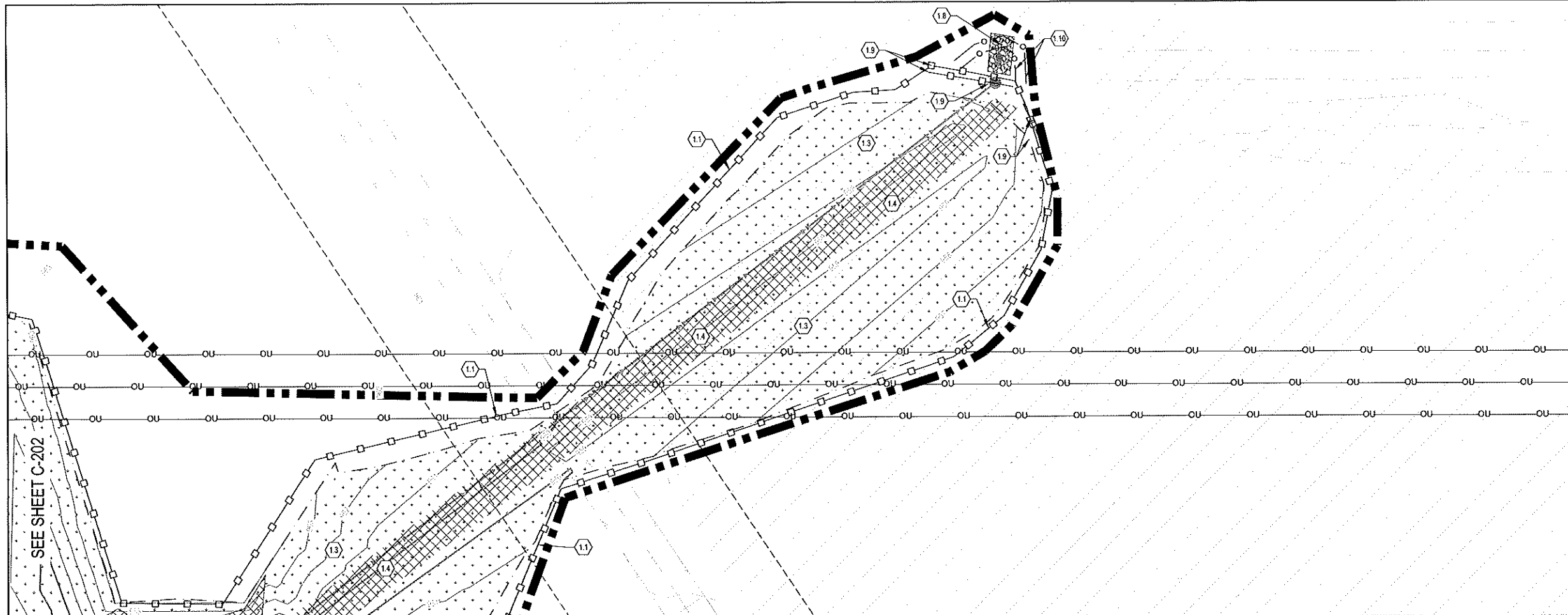


ISSUE NO.:	1
DATE:	05/04/2026
DESCRIPTION:	SITE PLAN SUBMITTAL



PROJECT NO.:	190300335				
DWN BY:	THR	CHKD BY:	RAG	APP'D BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN				
SHEET NO.:	C-204				

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LEGEND

- LOT LINE
- EASEMENT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- STABILIZED CONSTRUCTION EXIT
- EROSION CONTROL BLANKET
- SILT FENCE
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- RIPRAP
- CULVERT PROTECTION

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 SUITE E
 OKEMOS, IN 46664
 PHONE: 517-349-9459
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

ISSUE NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	05/04/2026

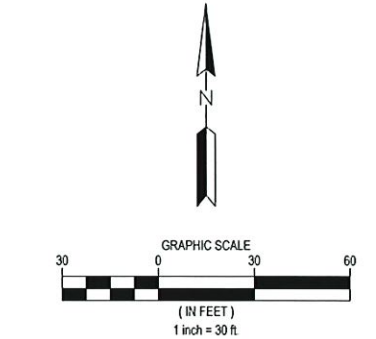
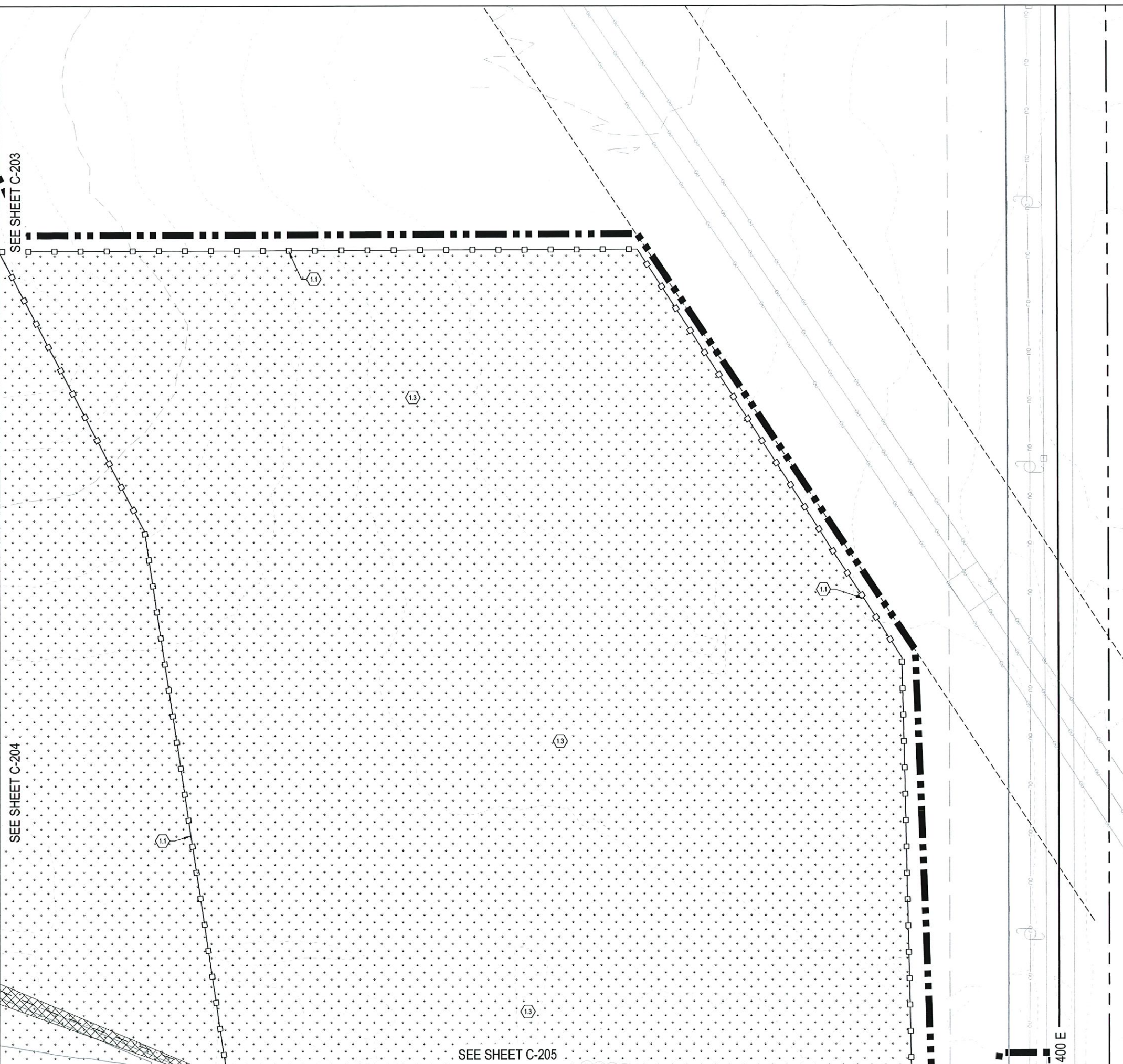


PROJECT NO:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN
SHEET NO.:	C-205

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LEGEND

	LOT LINE
	EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	STABILIZED CONSTRUCTION EXIT
	EROSION CONTROL BLANKET
	SILT FENCE
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	PERMANENT STABILIZATION - SEE LANDSCAPE PLANS
	RIPRAP
	CULVERT PROTECTION

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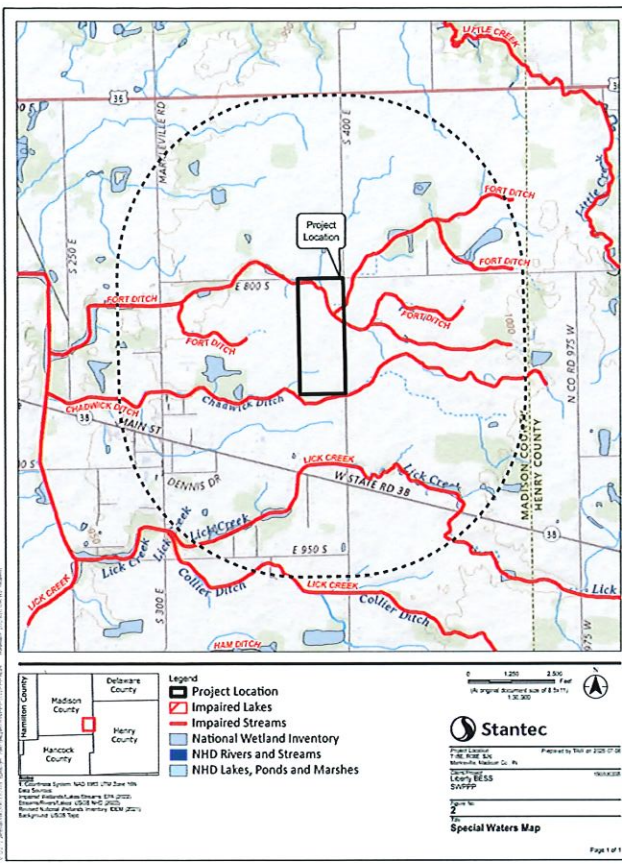
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II

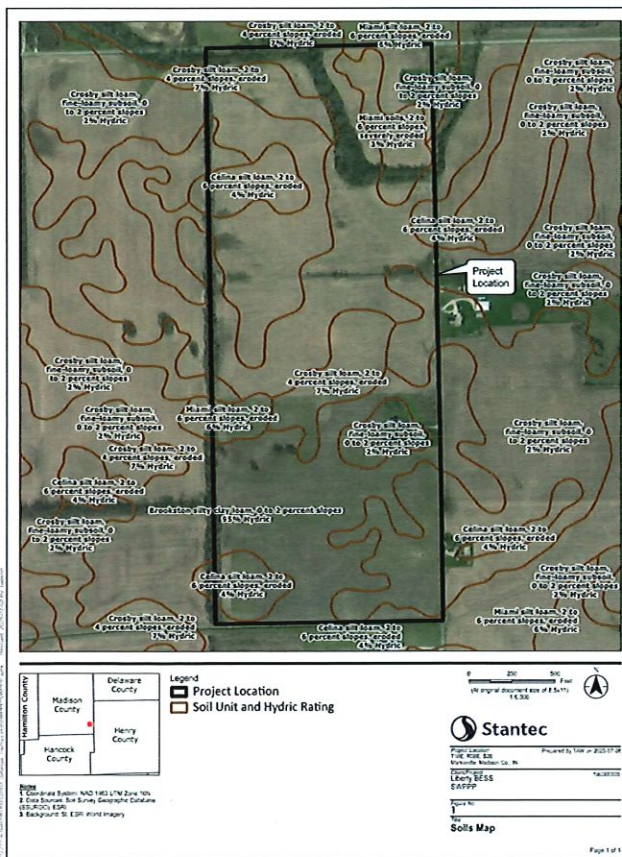


PROJECT NO:	190300335				
DWN BY:	THR	CHKD BY:	RAG	APPD BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN				
SHEET NO.:	C-206				

IMPAIRED WATERS MAP



SOIL MAP



SITE NAME: LIBERTY II (THE 'PROJECT')

PROJECT LOCATION: THE PROJECT IS LOCATED ABOUT 950 FEET WEST OF COUNTY ROAD S 400 E MADISON COUNTY, INDIANA.

NOTICE OF INTENT
ALL PARTIES DEFINED AS OWNERS OR OPERATORS MUST SUBMIT A CONSTRUCTION STORMWATER GENERAL PERMIT (CSGP) AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ON-SITE CONSTRUCTION ACTIVITIES. SUBMITTAL OF LATE CSGP'S IS NOT PROHIBITED, HOWEVER, AUTHORIZATION UNDER THE CONSTRUCTION GENERAL PERMIT IS ONLY FOR DISCHARGES THAT OCCUR AFTER PERMIT COVERAGE IS GRANTED. NONE PERMITTED DISCHARGES MAY BE SUBJECT TO ENFORCEMENT ACTIONS BY THE EPA. FOR THE PURPOSES OF THIS PERMIT, AN OPERATOR IS DEFINED AS ANY PARTY MEETING EITHER OF THE FOLLOWING REQUIREMENTS:

- THE PARTY HAS OPERATIONAL CONTROL OVER CONSTRUCTION PLANS AND SPECIFICATIONS, INCLUDING THE ABILITY TO MAKE MODIFICATIONS TO THOSE PLANS AND SPECIFICATIONS.
- THE PARTY HAS DAY-TO-DAY OPERATIONAL CONTROL OF THOSE ACTIVITIES AT A PROJECT THAT ARE NECESSARY TO ENSURE COMPLIANCE WITH A STORMWATER POLLUTION PREVENTION PLAN FOR THE SITE OR OTHER PERMIT CONDITIONS.

A1 INDEX OF THE LOCATION OF REQUIRED PLAN ELEMENTS IN THE CONSTRUCTION PLAN:
REFER TO THE SHEET INDEX ON THE TITLE SHEET FOR A LISTING OF THE REQUIRED ELEMENTS OF THE CSGP.

A2 VICINITY MAP DEPICTING THE PROJECT SITE LOCATION IN RELATIONSHIP TO RECOGNIZABLE LOCAL LANDMARKS, TOWNS, AND MAJOR ROADS:
REFER TO THE VICINITY MAP ON THE TITLE SHEET (G-001) AND THE SWPPP SHEET (C-206).

A3 NARRATIVE OF THE NATURE AND PURPOSE OF THE PROJECT:
THE PROJECT IS AN ELECTRICAL STORAGE AND DISTRIBUTION FACILITY LOCATED ABOUT 950 FEET WEST OF COUNTY ROAD S 400 E MADISON COUNTY, INDIANA. THE DEVELOPMENT WILL CONSIST OF ELECTRICAL STORAGE UNITS, GRAVEL ACCESS ROADS, A DRY RETENTION POND, AND ASSOCIATED INFRASTRUCTURE.

A4 LATITUDE AND LONGITUDE TO THE NEAREST FIFTEEN (15) SECONDS:
LAT: 39° 59' 02" LONG: 85° 35' 47"

A5 LEGAL DESCRIPTION OF THE PROJECT SITE:
REFER TO THE ALTA/SPLS LAND TITLE SURVEY FOR THE LEGAL DESCRIPTION.
SECTION: 27 TOWNSHIP: 18 N RANGE: 8 E

A6 11X17-INCH PLAT SHOWING BUILDING LOT NUMBERS/BOUNDARIES AND ROAD LAYOUT/NAMES:
BUILDING NUMBERS AND ROADWAYS ARE SHOWN ON THE SITE PLAN (NOT TO SCALE).

A7 BOUNDARIES OF THE ONE HUNDRED (100) YEAR FLOODPLAINS, FLOODWAY FRINGES, AND FLOODWAYS:
REFER TO EXISTING CONDITIONS PLAN (G-004). THE PROJECT IS LOCATED ADJACENT TO A KNOWN 100-YR FLOOD PLAIN.

A8 LAND USE OF ALL ADJACENT PROPERTIES:
NORTH: AGRICULTURAL
SOUTH: AGRICULTURAL
EAST: AGRICULTURAL
WEST: AGRICULTURAL

A9 IDENTIFICATION OF A U.S. EPA APPROVED OR ESTABLISHED TMDL:
THIS PROJECT IS LOCATED WITHIN ONE MILE OF THE IMPAIRED STREAMS FORT DITCH, LICK CREEK, AND CHADWICK DITCH. FORT DITCH IS LOCATED TO THE NORTH EAST OF THE PROJECT LOCATION AND IS LISTED AS IMPAIRED FOR E. COLI. LICK CREEK IS LOCATED DIRECTLY SOUTH OF THE PROJECT AND IS LISTED AS IMPAIRED FOR BIOLOGICAL INTEGRITY. CHADWICK DITCH IS LOCATED DIRECTLY SOUTH OF THE PROJECT LOCATION AND IS LISTED AS IMPAIRED FOR E. COLI. DISCHARGE TO AN IMPAIRED WATER REQUIRES IMPLEMENTATION OF SECTION 23.1 OF THE PERMIT AS INCORPORATED INTO THIS SWPPP DOCUMENT.

A10 NAME(S) OF THE RECEIVING WATER(S):
THE SITE DISCHARGES THROUGH THE PROPOSED STORMWATER MANAGEMENT FACILITIES TO FORT DITCH.

A11 IDENTIFICATION OF DISCHARGES TO A WATER ON THE CURRENT 303(D) LIST OF IMPAIRED WATERS AND THE POLLUTANT(S) FOR WHICH IT IS IMPAIRED:
THE RECEIVING WATERWAY FOR THE PROJECT IS FORT DITCH WHICH IS CURRENTLY LISTED ON THE CURRENT 303(D) LIST OF IMPAIRED WATERS FOR E. COLI AND LICK CREEK WHICH IS CURRENTLY LISTED ON THE CURRENT 303(D) LIST OF IMPAIRED WATERS FOR WARM WATER AQUATIC LIFE, BIOLOGICAL INTEGRITY, NUTRIENTS, FULL BODY CONTACT, AND E. COLI.

A12 SOILS MAP OF THE PREDOMINANT SOIL TYPES:
A MAP OF PREDOMINANT SOIL TYPES AND USDA SOIL DESCRIPTION IS LOCATED ON THIS SHEET.

A13 IDENTIFICATION AND LOCATION OF ALL KNOWN WETLANDS, LAKES, AND WATER COURSES ON OR ADJACENT TO THE PROJECT SITE (CONSTRUCTION PLAN, EXISTING SITE LAYOUT):
REFER TO THE OVERALL EXISTING CONDITIONS (G-004). FORT DITCH IS LISTED AS A WATER COURSE AND LOCATED ADJACENT TO SITE LIMITS.

A14 IDENTIFICATION OF ANY OTHER STATE OR FEDERAL WATER QUALITY PERMITS OR AUTHORIZATIONS THAT ARE REQUIRED FOR CONSTRUCTION ACTIVITIES:

- IDEM CONSTRUCTION STORMWATER GENERAL PERMIT (CSGP) NOI
- IDEM 401 WATER QUALITY CERTIFICATION PROGRAM

A15 IDENTIFICATION AND DELINEATION OF EXISTING COVER, INCLUDING NATURAL BUFFERS:
REFER TO THE EXISTING CONDITIONS PLAN (G-004). THERE ARE NO REQUIRED NATURAL BUFFERS.

A16 EXISTING SITE TOPOGRAPHY AT AN INTERVAL APPROPRIATE TO INDICATE DRAINAGE PATTERNS:
REFER TO THE EXISTING CONDITIONS PLAN (G-004).

A17 LOCATION(S) WHERE RUN-OFF ENTERS THE PROJECT SITE:
REFER TO THE EXISTING CONDITIONS PLAN (G-004). THERE ARE NO AREA WHERE RUNOFF ENTERS THE SITE EXCEPT VIA THE FORT DITCH.

A18 LOCATION(S) WHERE RUN-OFF DISCHARGES FROM THE PROJECT SITE PRIOR TO LAND DISTURBANCE:
REFER TO THE EXISTING CONDITIONS PLAN (G-004). EXISTING RUNOFF DISCHARGES FROM THE SITE DRAINS TO THE FORT DITCH BY OVERLAND FLOW.

A19 LOCATION OF ALL EXISTING STRUCTURES ON THE PROJECT SITE:
REFER TO THE EXISTING CONDITIONS PLAN (G-004) & DEMOLITION PLAN (C-001). THERE ARE EXISTING BUILDINGS, PONDS, OR OTHER INFRASTRUCTURE ON THE PROJECT SITE.

A20 EXISTING PERMANENT RETENTION OR DETENTION FACILITIES, INCLUDING MANMADE WETLANDS, DESIGNED FOR THE PURPOSE OF STORMWATER MANAGEMENT:
REFER TO THE EXISTING CONDITIONS PLAN (G-004) & DEMOLITION PLAN (C-001). THERE ARE NOT EXISTING PERMANENT RETENTION OR DETENTION FACILITIES.

A21 LOCATIONS WHERE STORMWATER MAY BE DIRECTLY DISCHARGED INTO GROUND WATER, SUCH AS ABANDONED WELLS, SINKHOLES, OR KARST FEATURES:
REFER TO THE EXISTING CONDITIONS PLAN (G-004) & DEMOLITION PLAN (C-001). THERE ARE NOT LOCATIONS WHERE STORMWATER MAY BE DIRECTLY DISCHARGED INTO GROUNDWATER.

A22 SIZE OF THE PROJECT AREA EXPRESSED IN ACRES:
REFER TO THE SITE PLAN (C-101). THE PROJECT AREA IS ±24.69 ACRES.

A23 TOTAL EXPECTED LAND DISTURBANCE EXPRESSED IN ACRES:
REFER TO THE SITE PLAN (C-101). THE DISTURBED AREA IS ±24.69 ACRES.

A24 PROPOSED FINAL TOPOGRAPHY:
REFER TO THE GRADING PLAN (C-301) FOR THE PROPOSED GRADING OF THE PROJECT.

A25 LOCATIONS AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS:
REFER TO THE EROSION CONTROL PLAN (C-001) FOR CONSTRUCTION LIMITS.

A26 LOCATIONS, SIZE, AND DIMENSIONS OF ALL STORMWATER DRAINAGE SYSTEM SUCH AS CULVERTS, STORMWATER SEWER, AND CONVEYANCE CHANNELS:
REFER TO THE STORM SEWER PLAN (C-501) FOR LOCATION, SIZE AND DIMENSIONS.

A27 LOCATIONS OF SPECIFIC POINTS WHERE STORMWATER AND NON-STORMWATER DISCHARGES WILL LEAVE THE PROJECT SITE:
REFER TO THE STORMWATER PLAN (C-501) FOR WHERE STORMWATER DISCHARGES FROM THE SITE. STORMWATER DRAINAGE FROM THE SITE WILL BE CONVEYED BY A PROPOSED STORM SEWER TO PROPOSED STORMWATER OUTFALL IN FORT DITCH (NE CORNER OF THE LOT)

A28 LOCATION OF ALL PROPOSED SITE IMPROVEMENTS, INCLUDING ROADS, UTILITIES, LOT DELINEATION AND IDENTIFICATION, PROPOSED STRUCTURES, AND COMMON AREAS:
REFER TO THE SITE PLAN (C-101) FOR THE LOCATION OF ALL SITE IMPROVEMENTS.

A29 LOCATION OF ALL ON-SITE AND OFF-SITE SOIL STOCKPILES AND BORROW AREAS:
EXCESS SOIL SHALL BE IMMEDIATELY STOCKPILED, SURROUNDED WITH SILT FENCE AND SEEDED AND/OR REMOVED FROM THE CONSTRUCTION SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS. REFER TO THE EROSION CONTROL PLAN (C-001).

A30 CONSTRUCTION SUPPORT ACTIVITIES THAT ARE EXPECTED TO BE PART OF THE PROJECT:
REFER TO THE CONTRACTOR FOR LOCATION OF STAGING AREA, CONCRETE WASHOUT, PORT-O-LET, DUMPSTER, ETC.

A31 LOCATION OF ANY IN-STREAM ACTIVITIES THAT ARE PLANNED FOR THE PROJECT INCLUDING, BUT NOT LIMITED TO, STREAM CROSSINGS AND PUMP AROUND:
REFER TO THE SITE PLAN (C-101). A PERMANENT OUTFALL FROM THE STORM BMP IS PLANNED TO CONNECT TO THE FORT DITCH AS PART OF THIS PROJECT. THE OUTFALL ELEVATION WILL BE ABOVE THE OWH.

B1 DESCRIPTION OF POTENTIAL POLLUTANT GENERATING SOURCES AND POLLUTANTS, INCLUDING ALL POTENTIAL NON-STORMWATER DISCHARGES:
THE FOLLOWING POTENTIAL POLLUTANT SOURCES MAY BE ASSOCIATED WITH CONSTRUCTION ACTIVITIES ON SITE:

- MATERIAL STORAGE AREAS (MORE SPECIFICALLY DESCRIBED BELOW)
- CONSTRUCTION WASTE MATERIAL
- FUEL STORAGE AREAS AND FUELING STATIONS
- EXPOSED SOILS
- LEAKING VEHICLES AND EQUIPMENT
- SANITARY WASTE FROM TEMPORARY TOILET FACILITIES
- LITTER
- WINDBLOWN DUST
- SOIL TRACKING OFF SITE FROM CONSTRUCTION EQUIPMENT

THE FOLLOWING CONSTRUCTION MATERIALS MAY BE STAGED OR STORED ON SITE AT VARIOUS POINTS DURING DEVELOPMENT OF THE SITE. THIS IS NOT AN EXHAUSTIVE LIST:

- STRUCTURAL FILL
- PAVEMENT BASE STONE
- HOPE, HP, PVC, RCP OR DUCTILE IRON PIPE
- PRECAST CONCRETE, HOPE OR PVC STORMWATER DRAINAGE STRUCTURES
- ROCK RIP-RAP
- GEOTEXTILE
- SILT FENCE
- EROSION CONTROL BLANKET
- FENCING MATERIALS

B2 STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS:
REFER TO THE EROSION CONTROL PLAN (C-001) FOR LOCATION AND EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. CONSTRUCTION ENTRANCES WILL BE IN PLACE PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION.

B3 SPECIFICATIONS FOR TEMPORARY AND PERMANENT STABILIZATION:
REFER TO THE REMOVAL AND PRE-CONSTRUCTION EROSION CONTROL PLAN (C-001) FOR LOCATION OF EROSION CONTROL MEASURES AND THE EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. SURFACE STABILIZATION IS REQUIRED ON ANY BARE OR THINLY VEGETATED AREA THAT IS SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR A PERIOD OF 15 DAYS OR MORE. REFER TO THE TEMPORARY AND PERMANENT SEEDING DETAILS FOR SPECIFICS ON SOIL AMENDMENTS, SEED MIXTURES AND MULCHING.

B4 SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS:
REFER TO THE POST CONSTRUCTION EROSION CONTROL PLAN (C-201) FOR LOCATION AND EROSION CONTROL DETAILS FOR DETAILS/SPECIFICATIONS. PROPOSED SWALES WILL BE STABILIZED WITH EROSION CONTROL BLANKETS AND BIO ROLLS OR SILT FENCE WILL BE INSTALLED TO SLOW RUNOFF TO INLETS/END SECTIONS. STRAW BALES AND SILT FENCES WILL NOT BE ALLOWED AS CONCENTRATED FLOW PROTECTION MEASURES.

B5 SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS:
REFER TO THE POST-CONSTRUCTION EROSION CONTROL PLAN (C-201) FOR LOCATION AND EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. SHEET FLOW AREAS WILL BE PROTECTED BY SEED AND MULCH OR HYDROSEEDING. EROSION CONTROL BLANKETS WILL BE INSTALLED ON SLOPED AREAS WHERE THE SLOPE EXCEEDS 4:1 (HORIZONTAL TO VERTICAL). SILT FENCING WILL BE UTILIZED TO PREVENT SEDIMENT FROM LEAVING THE SITE.

B6 RUN-OFF CONTROL MEASURES:
REFER TO THE POST-CONSTRUCTION EROSION CONTROL PLAN (C-201) FOR LOCATION AND EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. THIS PROJECT DOES NOT INCLUDE THE USE OF RUNOFF CONTROL MEASURES.

B7 STORMWATER OUTLET PROTECTION LOCATION AND SPECIFICATIONS:
REFER TO THE POST-CONSTRUCTION EROSION CONTROL PLAN (C-201) FOR LOCATION AND EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. STORMWATER OUTLETS WILL BE PROTECTED BY RIPRAP APRONS (RIPRAP OUTLET PROTECTION) TO PREVENT SCOUR EROSION.

B8 GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS:
REFER TO THE POST-CONSTRUCTION EROSION CONTROL PLAN (C-201) FOR LOCATION AND EROSION CONTROL DETAILS (C-801) FOR DETAILS/SPECIFICATIONS. THIS PROJECT DOES NOT UTILIZE GRADE STABILIZATION MEASURES.

B9 DEWATERING APPLICATIONS AND MANAGEMENT METHODS:
DEWATERING MAY BE REQUIRED FOR THIS PROJECT.

INSTALLATION

- LOCATE THE DESIRED OUTFLOW LOCATION FOR THE DEWATERING SYSTEM AND COORDINATE THE FILTER AND STABILIZATION METHOD TO BE USED WITH THE INSTALLER.
- DISCUSS THE PUMP CAPACITY AND PIPING COMPONENTS TO BE USED WITH THE INSTALLER. REVIEW THE LAYOUT OF THE SYSTEM PRIOR TO PLACEMENT AND HAVE ANY DEFICIENCIES CORRECTED PRIOR TO OPERATION ACTIVATION.
- CONSTRUCT A SECONDARY CONTAINMENT BMP SUCH AS A ROCK FILTER BERM OR SEDIMENT TRAP NEAR THE WATERWAY.
- PLACE FILTER BAG ON A FLAT STABLE SURFACE OUTSIDE OF THE WATERWAY.
- PLACE FILTER BAG IN A LOCATION THAT CAN BE REMOVED EFFICIENTLY WITHOUT CAUSING DAMAGE OR LOSING SEDIMENT.

INSPECTION

- INSPECT DAILY DURING DEWATERING OPERATIONS.
- INSPECT THE FILTER LOCATION AND CONDITION FOR NECESSARY REPAIR.
- REVIEW THE PIPING SYSTEM FOR LEAKAGE, KINKS AND CONDITIONS FOR NEEDED REPAIR.
- INSPECT THE FILTER BAG FOR TEARS AND SEDIMENT AND WATER CAPACITY.
- LOOK FOR EROSION BETWEEN FILTER BAG AND WATERWAY.

MAINTENANCE

- REPAIR ANY PUMPS DAMAGED OR NOT OPERATING PROPERLY.
- REPAIR OR REPLACE FILTERS THAT EXHIBIT LEAKAGE OR FAILURE.
- FILTERS MAY NEED TO BE REPLACED WHEN THEY BECOME LADEN WITH SEDIMENT.
- REPAIR OR REPLACE LEAKING OR DAMAGED PIPING.
- REPAIR ERODED AREAS AND STABILIZE.

B10 MEASURES UTILIZED FOR WORK WITHIN WATERBODIES:
THERE WILL BE WORK WITHIN THE FORT DITCH. FOLLOW INDIANA HANDBOOK SECTION 5.10 PRACTICE 1001.

B11 MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE:
IMPACTED AREAS, AS WELL AS EROSION AND SEDIMENT CONTROL DEVICES, WILL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A RAINFALL OF 0.5 INCH OR GREATER. SITES THAT HAVE BEEN FINAL OR TEMPORARILY STABILIZED OR SITES WHERE RUNOFF IS UNLIKELY DUE TO WATER CONDITIONS (E.G. SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS), INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

INSPECTIONS SHALL BE CONDUCTED, AND A WRITTEN REPORT PREPARED, BY A DESIGNATED AND QUALIFIED PERSON FAMILIAR WITH THE USEPA NPDES STORM WATER GENERAL PERMIT, THE IDEM CSGP, THIS SWPPP, AND THE PROJECT.

INSPECTION REPORTS SHALL BE COMPLETED INCLUDING SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE OF THE INSPECTION, OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3, AND ANY ACTIONS TAKEN BECAUSE OF INCIDENTS OF NONCOMPLIANCE NOTED DURING THE INSPECTION. THE INSPECTION REPORT SHOULD STATE WHETHER THE SITE COMPLIED WITH CSGP AND SWPPP REQUIREMENTS OR IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE. INSPECTION REPORTS SHALL BE KEPT ON SITE FOR A PERIOD OF TWO YEARS FOLLOWING CONSTRUCTION. THE ON-SITE REPORTS MAY BE REQUESTED BY INSPECTIONS CONDUCTED BY THE LOCAL GOVERNING AUTHORITY OR THE IDEM.

CONSTRUCTION ENTRANCE
LOCATIONS WHERE VEHICLES EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THE CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION ENTRANCE AND OTHER CONTROLS AS DESCRIBED IN THIS SWPPP.

MATERIAL STORAGE INSPECTIONS
INSPECTORS MUST EVALUATE AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. THE PURPOSE IS TO ENSURE THAT MATERIALS ARE PROTECTED AND/OR IMPOUNDED SO THAT POLLUTANTS CANNOT DISCHARGE FROM STORAGE AREAS. OFF-SITE MATERIAL STORAGE AREAS USED SOLELY BY THE SUBJECT PROJECT ARE PART OF THE PROJECT AND MUST BE INCLUDED IN THE EROSION CONTROL PLANS AND THE SITE INSPECTION REPORTS.

SOIL STABILIZATION INSPECTIONS
SEEDED AREAS WILL BE INSPECTED TO CONFIRM THAT A HEALTHY STAND OF VEGETATION IS MAINTAINED. THE SITE HAS ACHIEVED FINAL STABILIZATION ONCE ALL AREAS ARE COVERED WITH PAVEMENT OR HAVE A STAND OF VEGETATION WITH AT LEAST 70% OF THE BACKGROUND VEGETATION DENSITY. THE DENSITY OF 70% OR GREATER MUST BE MAINTAINED TO BE CONSIDERED AS STABILIZED. THE OPERATOR OR THEIR REPRESENTATIVE WILL WATER, FERTILIZE, AND RESEED DISTURBED AREAS AS NEEDED TO ACHIEVE THIS GOAL.

EROSION AND SEDIMENT CONTROL INSPECTIONS
ALL CONTROLS SHOULD BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND FOLLOWING ANY STORM EVENT OF 0.5 INCH OR GREATER. THE FOLLOWING IS A LIST OF INSPECTION/MAINTENANCE PRACTICES THAT WILL BE USED FOR SPECIFIC CONTROLS:

- GEOTEXTILES/EROSION CONTROL MATS: MISSING OR LOOSE MATTING MUST BE REPLACED OR RE-ANCHORED.
- INLET PROTECTION: IF SILT FENCE INLET PROTECTION IS TO BE USED, SEDIMENT SHOULD BE REMOVED WHEN IT REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. IF A SUMP IS USED, SEDIMENT SHOULD BE REMOVED WHEN THE VOLUME OF THE BASIN IS REDUCED BY 50%.
- SILT FENCE: REMOVAL OF BUILT-UP SEDIMENT WILL OCCUR WHEN THE SEDIMENT REACHES ONE-THIRD THE HEIGHT OF THE FENCE.
- STABILIZED CONSTRUCTION ENTRANCE: PERIODIC RE-GRADING AND TOP DRESSING WITH ADDITIONAL STONE.
- STRAW BALES: REPLACE STRAW BALES THAT SHOW SIGNS OF DETERIORATION.
- BIOROLL: REPLACE BIOROLLS THAT SHOW SIGNS OF DETERIORATION.
- VEGETATION: PROTECT NEWLY SEEDED AREAS FROM EXCESSIVE RUNOFF AND TRAFFIC UNTIL VEGETATION IS ESTABLISHED. ESTABLISH A WATERING AND FERTILIZING SCHEDULE.
- GOOD HOUSEKEEPING: LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORMWATER DISCHARGES THROUGH SCREENING OF OUTFALLS AND DAILY PICKUP OF LITTER.

IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE ADVERSE IMPACTS. AN EXAMPLE OF THIS MAY BE THE SITUATION WHERE SEDIMENT HAS WASHED INTO THE STREET AND COULD BE CARRIED INTO THE STORM SEWERS BY THE NEXT RAINFALL AND/OR POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. MODIFICATIONS/REVISIONS TO SWP3, BASED ON INSPECTION RESULTS, ANY NECESSARY MODIFICATION TO THIS SWP3 SHALL BE IMPLEMENTED WITHIN SEVEN CALENDAR DAYS OF THE INSPECTION. A MODIFICATION IS NECESSARY IF A CONTROL MEASURE OR OPERATIONAL PROCEDURE DOES NOT PROVIDE ADEQUATE POLLUTANT CONTROL. ALL REVISIONS SHALL BE RECORDED ON A RECORD OF REVISIONS WITHIN SEVEN CALENDAR DAYS OF THE INSPECTION.

IT IS THE RESPONSIBILITY OF THE OPERATOR TO MAINTAIN EFFECTIVE POLLUTANT DISCHARGE CONTROLS. PHYSICAL SITE CONDITIONS OR CONTRACTOR/SUBCONTRACTOR PRACTICES COULD MAKE IT NECESSARY TO INSTALL MORE CONTROLS THAN WERE ORIGINALLY PLANNED. FOR EXAMPLE, LOCALIZED CONCENTRATIONS OF SURFACE RUNOFF OR UNUSUALLY STEEP AREAS COULD REQUIRE ADDITIONAL SILT BARRIER OR OTHER STRUCTURAL CONTROLS. ASSESSING THE NEED FOR AND INSTALLING ADDITIONAL CONTROLS WILL BE A CONTINUING CONTRACTOR/SUBCONTRACTOR RESPONSIBILITY UNTIL FINAL STABILIZATION IS ACHIEVED. CONTRACTORS AND SUBCONTRACTORS IMPLEMENTING THIS SWP3 MUST REMAIN ALERT TO THE NEED TO PERIODICALLY REFINE AND UPDATE THIS SWP3 TO ACCOMPLISH THE INTENDED GOALS.



CLIENT: **LIBERTY I**

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46066

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	SWPPP
SHEET NO.:	C-207

NOTICE OF TERMINATION

COMPLIANCE OF THE SITE WITH THE CSGP REMAINS THE RESPONSIBILITY OF ALL OPERATORS THAT HAVE SUBMITTED A CSGP UNTIL SUCH TIME AS THEY HAVE SUBMITTED A NOTICE OF TERMINATION (NOT), THE PERMITTEE'S AUTHORIZATION TO DISCHARGE UNDER THE CSGP TERMINATES AT MIDNIGHT OF THE DAY THE NOT IS SIGNED.

- 1. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE WAS RESPONSIBLE.
2. ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
3. IN RESIDENTIAL CONSTRUCTION OPERATIONS, TEMPORARY STABILIZATION HAS BEEN COMPLETED AND THE RESIDENCE HAS BEEN TRANSFERRED TO THE HOMEOWNER.

B12 PLANNED CONSTRUCTION SEQUENCE THAT DESCRIBES THE IMPLEMENTATION OF STORMWATER QUALITY MEASURES IN RELATION TO LAND DISTURBANCE:

PRECONSTRUCTION ACTIVITY

- THE EXACT LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.
SCHEDULE PRE-CONSTRUCTION MEETING WITH LOCAL STORMWATER AUTHORITY.
INSTALL PROTECTION FENCING FOR EXISTING TREES TO REMAIN IN PLACE WITHIN THE PROJECT LIMITS.
INSTALL PROTECTION FENCING FOR EXISTING KARST IN AREAS ADJACENT TO PROJECT LIMITS.

CONSTRUCTION SITE ACCESS

- INSTALL GRAVEL CONSTRUCTION ENTRANCE.
POST THE NOI AT THE CONSTRUCTION ENTRANCE.
INSTALL CONSTRUCTION STAGING PADS, FUELING STATION, MATERIAL STORAGE AREAS, CONCRETE WASHOUT, CONSTRUCTION PARKING AREAS AND STABILIZE CONSTRUCTION ROUTES.

PERIMETER CONTROLS

- UTILIZE THE GRAVEL CONSTRUCTION ENTRANCE FOR INSTALLATION OF THE PERIMETER SILT FENCE. ADD STONE IF NEEDED.

INITIAL LAND CLEARING AND GRADING ACTIVITIES

- ADD PROTECTION MEASURES TO EXISTING INLETS.
STRIP THE TOPSOIL AND STABILIZE THE TOPSOIL STOCKPILE.

SECONDARY LAND GRADING ACTIVITIES

- BEGIN SITE GRADING/CONSTRUCTION OF DETENTION BASINS AND STABILIZE ANY SOIL STOCKPILES THAT WILL BE LEFT DORMANT FOR MORE THAN 15 DAYS.
COMPLETE THE CUT AND FILLS ON THE SITE. FINAL GRADE AND SEED THE POND SLOPES. INSTALL CHECK DAMS AND STABILIZE SLOPES WITH EROSION CONTROL BLANKETS.
INSTALL STORM SEWER SYSTEM AND INSTALL INLET PROTECTION IMMEDIATELY UPON COMPLETION OF THE INLET AND INSTALL RIPRAP OUTLET PROTECTION PRIOR TO INSTALLING OUTLETS.

SURFACE STABILIZATION

- APPLY TEMPORARY SEEDING AND STABILIZE SLOPES IN AREAS WHERE ROUGH GRADING HAS BEEN COMPLETED.
APPLY PERMANENT SEEDING AND STABILIZE SLOPES IN AREAS WHERE FINAL GRADING HAS BEEN COMPLETED.

FINAL SHAPING/LANDSCAPING

- UTILIZE TOPSOIL SALVAGE IN APPLICABLE AREAS AND APPLY PERMANENT SEEDING.
APPLY PERMANENT SEEDING THE PERIMETER OF THE SITE.
COMPLETE UTILITY INSTALLATION, CURBS, PAVING AND BUILDING CONSTRUCTION.
INSTALL LANDSCAPING PLANT MATERIAL AND STABILIZE ALL DISTURBED AREAS.
REMOVE ALL EROSION AND SEDIMENT CONTROL PRACTICES WHEN AREAS HAVE A UNIFORM GRASS COVER.

B13 PROVISIONS FOR EROSION AND SEDIMENT CONTROL ON INDIVIDUAL RESIDENTIAL BUILDING LOTS REGULATED UNDER THE PROPOSED PROJECT:

THE SECTION DOES NOT APPLY TO THIS PROJECT.

B14 MATERIAL HANDLING AND SPILL PREVENTION AND SPILL RESPONSE PLAN MEETING THE REQUIREMENT IN 327 IAC 2-6.1:

MATERIAL HANDLING AND SPILL PREVENTION

DISCHARGE OF HAZARDOUS SUBSTANCES OR OIL INTO STORMWATER IS SUBJECT TO REPORTING REQUIREMENTS. IN THE EVENT OF A SPILL OF A HAZARDOUS SUBSTANCE, THE OPERATOR IS REQUIRED TO NOTIFY THE NATIONAL RESPONSE CENTER (1-800-424-8802) TO PROPERLY REPORT THE SPILL. IN ADDITION, THE OPERATOR SHALL SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE (INCLUDING THE TYPE AND AMOUNT OF MATERIAL RELEASED, THE DATE OF THE RELEASE, THE CIRCUMSTANCES OF THE RELEASE, AND THE STEPS TO BE TAKEN TO PREVENT FUTURE SPILLS) TO THE LOCAL GOVERNING AUTHORITY. THE SWP3 MUST BE REVISED WITHIN 14 CALENDAR DAYS AFTER THE RELEASE TO REFLECT THE RELEASE, STATING THE INFORMATION ABOVE ALONG WITH MODIFICATIONS TO MINIMIZE THE POSSIBILITY OF FUTURE OCCURRENCES. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THESE REPORTING REQUIREMENTS.

SPILL RESPONSE PLAN

- MINOR - SMALL SPILLS THAT TYPICALLY INVOLVE OIL, GASOLINE, PAINT, HYDRAULIC FLUID, ETC., CAN BE CONTROLLED BY THE FIRST RESPONDER AT THE DISCOVERY OF THE SPILL.
CONTAIN SPILL TO PREVENT MATERIAL FROM ENTERING STORM OR GROUND WATER. DO NOT FLUSH WITH WATER OR BURY.
USE ABSORBENT MATERIAL TO CLEAN-UP SPILL MATERIAL AND ANY SUBSEQUENTLY CONTAMINATED SOIL AND DISPOSE OF PROPERLY.

SEMI-SIGNIFICANT SPILLS - APPROXIMATELY TEN GALLONS OR LESS OF POLLUTANT WITH NO CONTAMINATION OF GROUND OR SURFACE WATERS. MINOR SPILLS CAN BE GENERALLY CONTROLLED BY THE FIRST RESPONDER WITH HELP FROM OTHER SITE PERSONNEL. THIS RESPONSE MAY REQUIRE OTHER OPERATIONS TO STOP TO MAKE SURE THE SPILL IS QUICKLY AND SAFELY ADDRESSED. AT THE DISCOVERY OF THE SPILL:

- CONTAIN SPILL TO PREVENT MATERIAL FROM ENTERING STORM OR GROUND WATER. DO NOT FLUSH WITH WATER OR BURY.
USE ABSORBENT MATERIAL TO CLEAN-UP SPILLS AND DISPOSE OF PROPERLY. SPILLS ON IMPERVIOUS SURFACES SHOULD BE DISPOSED OF AS SOON AS POSSIBLE TO PREVENT MIGRATION DEEPER INTO THE SOIL AND GROUNDWATER. DISPOSE OF CONTAMINATED SOILS OR ABSORBENTS PROPERLY.
CONTACT 911 IF THE SPILL COULD BE A SAFETY ISSUE.
CONTACT SUPERVISORS AND DESIGNATED SITE INSPECTORS IMMEDIATELY.
CONTAMINATED SOLIDS ARE TO BE REMOVED TO AN APPROVED LANDFILL.
MAJOR OR HAZARDOUS SPILLS - MORE THAN TEN GALLONS, THERE IS THE POTENTIAL FOR DEATH, INJURY OR ILLNESS TO HUMANS OR ANIMALS, OR HAS THE POTENTIAL FOR SURFACE OR GROUNDWATER POLLUTION.
CONTROL OR CONTAIN THE SPILL WITHOUT RISKING BODILY HARM. TEMPORARILY PLUG STORM DRAINS IF POSSIBLE TO PREVENT MIGRATION OF THE SPILL INTO THE STORMWATER SYSTEM.
IMMEDIATELY CONTACT THE LOCAL FIRE DEPARTMENT AT 911 TO REPORT ANY HAZARDOUS MATERIAL SPILL.
CONTACT SUPERVISORS AND DESIGNATED SITE INSPECTORS IMMEDIATELY. GOVERNING AUTHORITIES RESPONSIBLE FOR STORM WATER FACILITIES SHOULD BE CONTACTED AS WELL. THE CONTRACTOR IS RESPONSIBLE FOR HAVING THESE CONTACT NUMBERS AVAILABLE AT THE JOB SITE. A WRITTEN REPORT SHOULD BE SUBMITTED TO THE OWNER AS SOON AS POSSIBLE.
AS SOON AS POSSIBLE BUT WITHIN 2 HOURS OF DISCOVERY, CONTACT THE LOCAL AGENCY RESPONSIBLE FOR SPILL MANAGEMENT. THE FOLLOWING INFORMATION SHOULD BE NOTED FOR FUTURE REPORTS TO THE AGENCY:
NAME, ADDRESS AND PHONE NUMBER OF PERSON MAKING THE SPILL REPORT
THE LOCATION OF THE SPILL

- THE TIME OF THE SPILL
IDENTIFICATION OF THE SPILLED SUBSTANCE
APPROXIMATE QUANTITY OF THE SUBSTANCE THAT HAS BEEN SPILLED OR MAY BE FURTHER SPILLED
THE DURATION AND SOURCE OF THE SPILL
NAME AND LOCATION OF THE DAMAGED WATERS
NAME OF SPILL RESPONSE ORGANIZATION
WHAT MEASURES WERE TAKEN IN THE SPILL RESPONSE
OTHER INFORMATION THAT MAY BE SIGNIFICANT

ADDITIONAL REGULATIONS OR REQUIREMENTS MAY BE PRESENT. A SPILL RESPONSE PROFESSIONAL SHOULD BE CONSULTED TO MAKE SURE ALL APPROPRIATE AND REQUIRED STEPS HAVE BEEN TAKEN. CONTAMINATED SOLIDS SHOULD ONLY BE REMOVED FROM THE SITE AFTER APPROVAL IS GIVEN BY THE APPROPRIATE AGENCY.

B15 MATERIAL HANDLING AND STORAGE PROCEDURES ASSOCIATED WITH CONSTRUCTION ACTIVITY: SOLID WASTE DISPOSAL

NO SOLID MATERIAL, INCLUDING BUILDING MATERIALS, IS PERMITTED TO BE DISCHARGED TO SURFACE WATERS OR BURIED ON SITE. ALL SOLID WASTE MATERIALS, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE CONSTRUCTION ACTIVITY, MUST BE COLLECTED IN CONTAINERS OR CLOSED DUMPSTERS. THE COLLECTION CONTAINERS MUST BE EMPTIED PERIODICALLY AND THE COLLECTED MATERIAL HAULED TO A LANDFILL PERMITTED BY THE STATE AND/OR APPROPRIATE LOCAL MUNICIPALITY TO ACCEPT THE WASTE FOR DISPOSAL.

A FOREMAN OR SUPERVISOR SHOULD BE DESIGNATED IN WRITING TO OVERSEE, ENFORCE, AND INSTRUCT CONSTRUCTION WORKERS ON PROPER SOLID WASTE PROCEDURES.

DUST CONTROL/OFF-SITE VEHICLE TRACKING

DURING CONSTRUCTION, WATER TRUCKS SHOULD BE USED, AS NEEDED, BY EACH CONTRACTOR OR SUBCONTRACTOR TO REDUCE DUST. AFTER CONSTRUCTION, THE SITE SHOULD BE STABILIZED TO REDUCE DUST.

CONSTRUCTION TRAFFIC SHOULD ENTER AND EXIT THE SITE AT A CONSTRUCTION ENTRANCE WITH A ROCK PAD OR EQUIVALENT DEVICE. THE PURPOSE OF THE ROCK PAD IS TO MINIMIZE THE AMOUNT OF SOIL AND MUD THAT IS TRACKED ONTO EXISTING STREETS. IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

HAZARDOUS MATERIAL STORAGE & WASTE

WHENEVER POSSIBLE, MINIMIZE THE USE OF HAZARDOUS MATERIALS AND GENERATION OF HAZARDOUS WASTES. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED IN THE MANNER SPECIFIED BY FEDERAL, STATE, OR LOCAL REGULATIONS OR BY THE MANUFACTURER.

CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC OR HAZARDOUS MATERIALS SHOULD BE STORED IN THEIR ORIGINAL CONTAINERS (IF ORIGINAL CONTAINER IS NOT RESEALABLE, STORE THE PRODUCTS IN CLEARLY LABELED, WATERPROOF CONTAINERS). EXCEPT DURING APPLICATION, THE CONTAINERS SHOULD BE KEPT IN TRUCKS OR IN BERMED AREAS WITHIN COVERED STORAGE FACILITIES. RUNOFF CONTAINING SUCH MATERIALS SHALL BE COLLECTED, REMOVED FROM THE SITE, AND DISPOSED OF IN ACCORDANCE WITH THE FEDERAL, STATE, AND LOCAL REGULATIONS. USE CONTAINMENT BERMS IN FUELING AND MAINTENANCE AREAS AND WHERE POTENTIAL FOR SPILLS IS HIGH.

AS MAY BE REQUIRED BY FEDERAL, STATE OR LOCAL REGULATIONS, THE CONTRACTOR SHOULD HAVE A HAZARDOUS MATERIALS MANAGEMENT PLAN AND/OR HAZARDOUS MATERIALS SPILL AND PREVENTION PROGRAM IN PLACE. A FOREMAN OR SUPERVISOR SHOULD BE DESIGNATED IN WRITING TO OVERSEE, ENFORCE, AND INSTRUCT CONSTRUCTION WORKERS ON PROPER HAZARDOUS MATERIALS STORAGE AND HANDLING PROCEDURES. THE LOCATION OF ANY HAZARDOUS MATERIAL STORAGE AREAS SHOULD BE INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN BY THE OPERATOR FOLLOWING ON-SITE LOCATION OF THE STORAGE AREAS.

SANITARY/SEPTIC

CONTRACTORS AND SUBCONTRACTORS MUST COMPLY WITH ALL STATE AND LOCAL SANITARY SEWER, PORTABLE TOILET, OR SEPTIC SYSTEM REGULATIONS. SANITARY FACILITIES SHALL BE PROVIDED AT THE SITE BY EACH CONTRACTOR OR SUBCONTRACTOR THROUGHOUT CONSTRUCTION ACTIVITIES. THE SANITARY FACILITIES SHOULD BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND BE SERVICED REGULARLY. ALL EXPENSES ASSOCIATED WITH PROVIDING SANITARY FACILITIES ARE THE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS. THE LOCATION OF ANY SANITARY FACILITIES SHOULD BE INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN BY THE OPERATOR FOLLOWING ON-SITE LOCATION OF SAID FACILITIES.

WATER SOURCE

WATER USED TO ESTABLISH AND MAINTAIN GRASS, TO CONTROL DUST, AND FOR OTHER CONSTRUCTION PURPOSES MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE OR LOCAL HEALTH DEPARTMENT.

EQUIPMENT FUELING AND STORAGE AREAS

EQUIPMENT FUELING, MAINTENANCE, AND CLEANING SHOULD ONLY BE COMPLETED IN PROTECTED AREAS (I.E., BERMED AREA). LEAKING EQUIPMENT AND MAINTENANCE FLUIDS WILL BE COLLECTED AND NOT ALLOWED TO DISCHARGE ONTO SOIL WHERE THEY MAY BE WASHED AWAY DURING A RAIN EVENT.

EQUIPMENT WASH DOWN (EXCEPT FOR WHEEL WASHES) SHOULD TAKE PLACE WITHIN AN AREA SURROUNDED BY A BERM. THE USE OF DETERGENTS IS PROHIBITED.

CONCRETE WASHOUT

ALL CONCRETE TRUCKS WASTE MATERIAL SHALL BE COMPLETELY CONTAINED AND DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. A PIT OR CONTAINER IS REQUIRED WHEN CLEANING CONCRETE CHUTES.

C1 DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE:

THE PROPOSED LAND USE IS AN ELECTRICAL STORAGE AND DISTRIBUTION FACILITY. THE POLLUTANTS AND SOURCES OF EACH POLLUTANT NORMALLY EXPECTED FROM THIS TYPE OF LAND USE ARE LISTED BELOW.

POLLUTANT SOURCE: PASSENGER VEHICLES, DELIVERY VEHICLES.

TYPE OF POLLUTANT: OIL, GASOLINE, DIESEL FUEL, ANY HYDROCARBON ASSOCIATED WITH VEHICULAR FUELS AND LUBRICANTS, GREASE, ANTIFREEZE, WINDSHIELD CLEANER SOLUTION, BRAKE FLUID, BRAKE DUST, RUBBER, GLASS, METAL AND PLASTIC FRAGMENTS, GRIT, ROAD DE-ICING MATERIALS.

POLLUTANT SOURCE: LAWN AND LANDSCAPE AREAS

TYPE OF POLLUTANT: FERTILIZERS, SOIL, ORGANIC MATERIAL (LEAVES, MULCH, GRASS CLIPPINGS).

C2 DESCRIPTION OF PROPOSED POST-CONSTRUCTION STORMWATER QUALITY MEASURES:

THIS PROJECT WAS DESIGNED TO MEET LOCAL DRAINAGE REQUIREMENTS PER THE ADAMS TOWNSHIP STORMWATER TECHNICAL STANDARDS. BELOW IS A SUMMARY OF THE PROPOSED POST-CONSTRUCTION STORMWATER MEASURES USED TO SATISFY THE TOWNSHIP'S TECHNICAL STANDARDS.

PERMANENT VEGETATION

TOPSOIL WILL BE PLACED IN LAWN AREAS AND SEEDED WITH GRASS, AND GRADED NOT TO EXCEED 3:1 SLOPES. PROPOSED LANDSCAPE TREES AND SHRUBS WILL ALSO BE ADDED. THESE BIO AREAS WILL ACT AS A NATURAL FLOOD STRIP TO HELP IMPROVE STORM WATER QUALITY. THE VEGETATED AREAS WILL SLOW THE VELOCITIES OF STORM WATER RUNOFF, REDUCE SEDIMENT RUNOFF, AND REDUCE PROBLEMS ASSOCIATED WITH MUD OR DUST FROM BARE SOILS.

GOOD HOUSEKEEPING MEASURES

GOOD HOUSEKEEPING MEASURES SUCH AS REGULAR STREET SWEEPING, INSTALLATION OF TRASH RECEPTACLES AND REDUCTION IN FERTILIZER OVERSPRAY CAN BE INCORPORATED BY THE OWNER AND/OR OCCUPANT.

C3 PLAN DETAILS FOR EACH STORMWATER MEASURE:

REFER TO THE STORM SEWER PLAN AND SITE DETAILS FOR DETAILS OF THE STORMWATER MEASURES IN SECTION C2.

C4 SEQUENCE DESCRIBING STORMWATER MEASURE IMPLEMENTATION:

REFER TO SECTION B12 FOR SEQUENCE STEPS.

VEGETATED SWALE: THE SWALES ARE TO BE GRADED IN THE SECONDARY LAND GRADING ACTIVITIES AFTER THE DOWNSTREAM INLET AND/OR WATER QUALITY MEASURE IS ESTABLISHED. AND TEMPORARILY STABILIZED AS PART OF SURFACE STABILIZATION. UPON COMPLETION OF SITE GRADING, FINAL SHAPING/LANDSCAPING SHOULD TAKE PLACE TO ENSURE POSITIVE DRAINAGE/SLOPE AND ADEQUATE SURFACE COVER IS ESTABLISHED.

PERMANENT VEGETATION: THE PERMANENT VEGETATION IS TO BE INSTALLED AS PART OF THE FINAL SHAPING/LANDSCAPING STEP TO ENSURE POSITIVE DRAINAGE AND ADEQUATE GROUND COVER WITHOUT DISTURBANCE FROM CONSTRUCTION ACTIVITIES. TEMPORARY VEGETATION SHOULD BE MAINTAINED THROUGHOUT PRECEDING STEPS.

C5 MAINTENANCE GUIDELINES FOR POST-CONSTRUCTION STORMWATER QUALITY MEASURES:

MAINTENANCE REQUIREMENTS FOR THE STORMWATER QUALITY MEASURES WHICH WILL REMAIN IN PLACE AFTER CONSTRUCTION IS COMPLETE, ARE DESCRIBED BELOW. REFER TO THE BMP OPERATIONS AND MAINTENANCE MANUAL FOR MORE DETAILED MAINTENANCE REQUIREMENTS.

VEGETATED SWALE: VEGETATED SWALES REQUIRE LITTLE MAINTENANCE IF PROPERLY DESIGNED. MOW AS NEEDED DURING THE GROWING SEASON; INSPECT FOR EROSION PROBLEMS TWICE DURING THE FIRST YEAR, ANNUALLY THEREAFTER, AND REMOVE SEDIMENT, TRASH AND DEBRIS ANNUALLY OR MORE FREQUENTLY IF NEEDED.

DETENTION BASINS (WET OR DRY): INSPECT PERIODICALLY AS NEEDED OR AT LEAST EVERY SIX MONTHS. SEDIMENT SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS. AREAS THAT SHOW SIGN OF EROSION SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND/OR SEED AS NECESSARY.

C6 ENTITY THAT WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE POST-CONSTRUCTION STORMWATER MEASURES:

OWNER'S INFORMATION:

NAME: JUPITER POWER, LLC
ADDRESS: 1108 LAVACA STREET, AUSTIN, TEXAS 78701
REPRESENTATIVE: NAT DRUCKER
TITLE: DEVELOPER
TELEPHONE: (512) 667-4925

OPERATOR'S INFORMATION (TRAINED INDIVIDUAL)

NAME: TBD
ADDRESS: TBD
REPRESENTATIVE: TBD
TITLE: TBD
TELEPHONE: TBD



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SUITE E
OKEMOS, MI 48864
PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:



ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

LIBERTY I

PROJECT TITLE:

Table with columns: DATE, DESCRIPTION, ISSUE NO., and rows for 05/04/2026 SITE PLAN SUBMITTAL 1

CERTIFICATION:



PROJECT NO.: 190300335

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ISSUE DATE: 05/04/2026

ISSUE NO.: 1

SHEET TITLE:

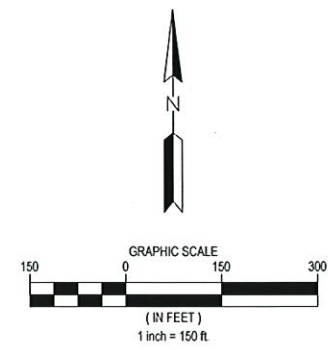
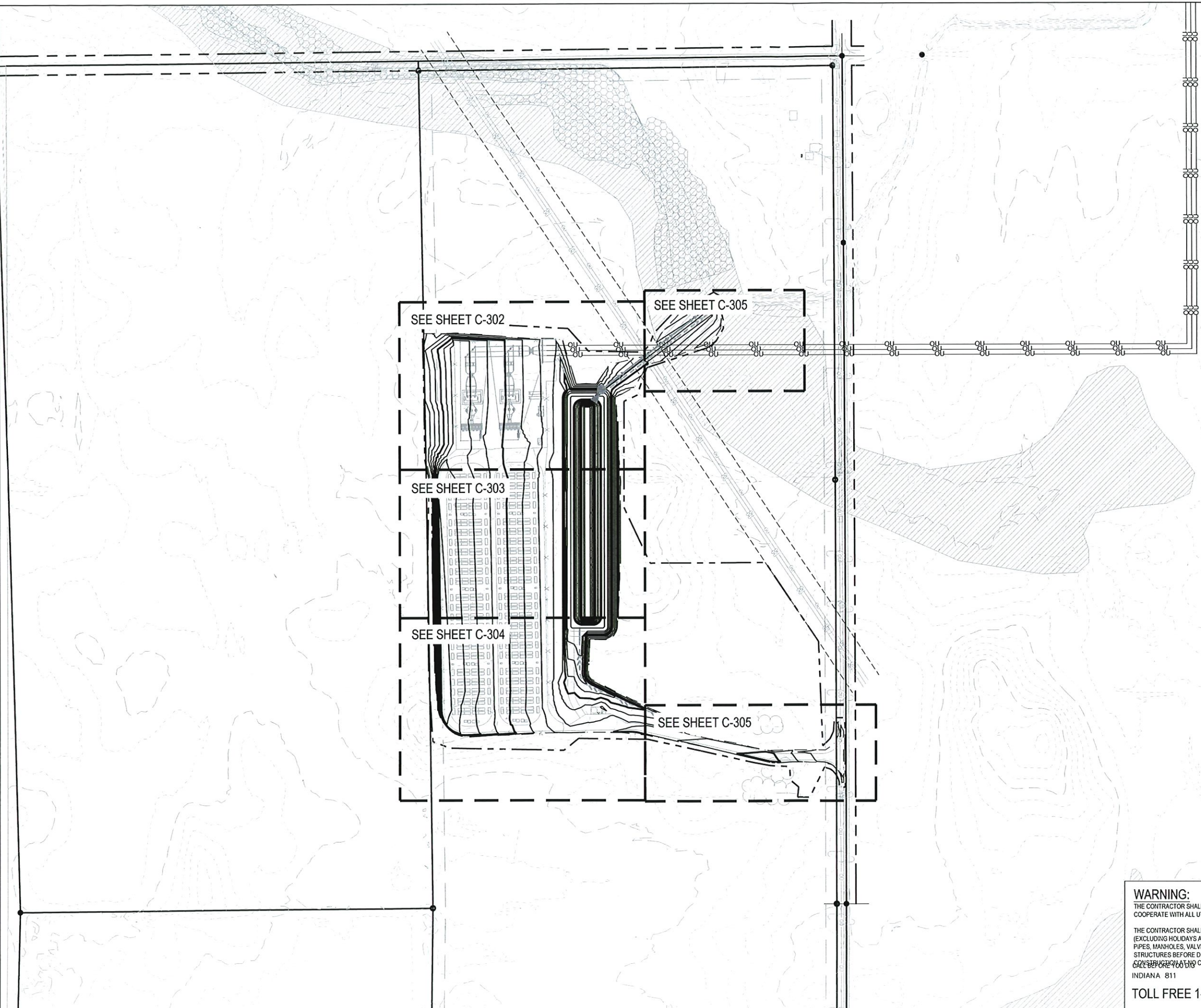
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SHEET NO.:

C-208

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LEGEND

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- - - -	EXISTING MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
- - - -	GRADING LIMITS
---	CONSTRUCTION LIMITS
---(R)M-5000---	STRUCTURE RIM SPOT ELEVATION
---(E)E-5000---	MATCH EXISTING ELEVATION
---(E)OF-5000---	EMERGENCY OVERFLOW ELEVATION
---(F)FG-5000---	FINISHED GRADE ELEVATION
1.00%	SURFACE GRADE & FLOW DIRECTION
3.0:1	SURFACE SLOPE (H:V) & FLOW DIRECTION
---	STORM SEWER
---	SWALE
●	STORM MANHOLE
▼	FLARED END SECTION

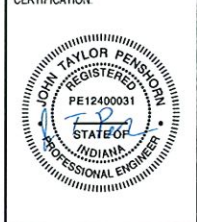
- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON INTERPOLATED POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY, REGULATORY COMPLIANCE (ADA), POSITIVE DRAINAGE, AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REWORK OF A DISCREPANCY THAT IS NOT COMMUNICATED TO THE ENGINEER IN WRITING.
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 2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



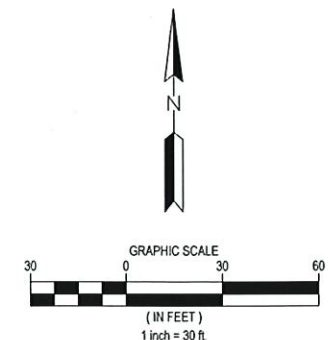
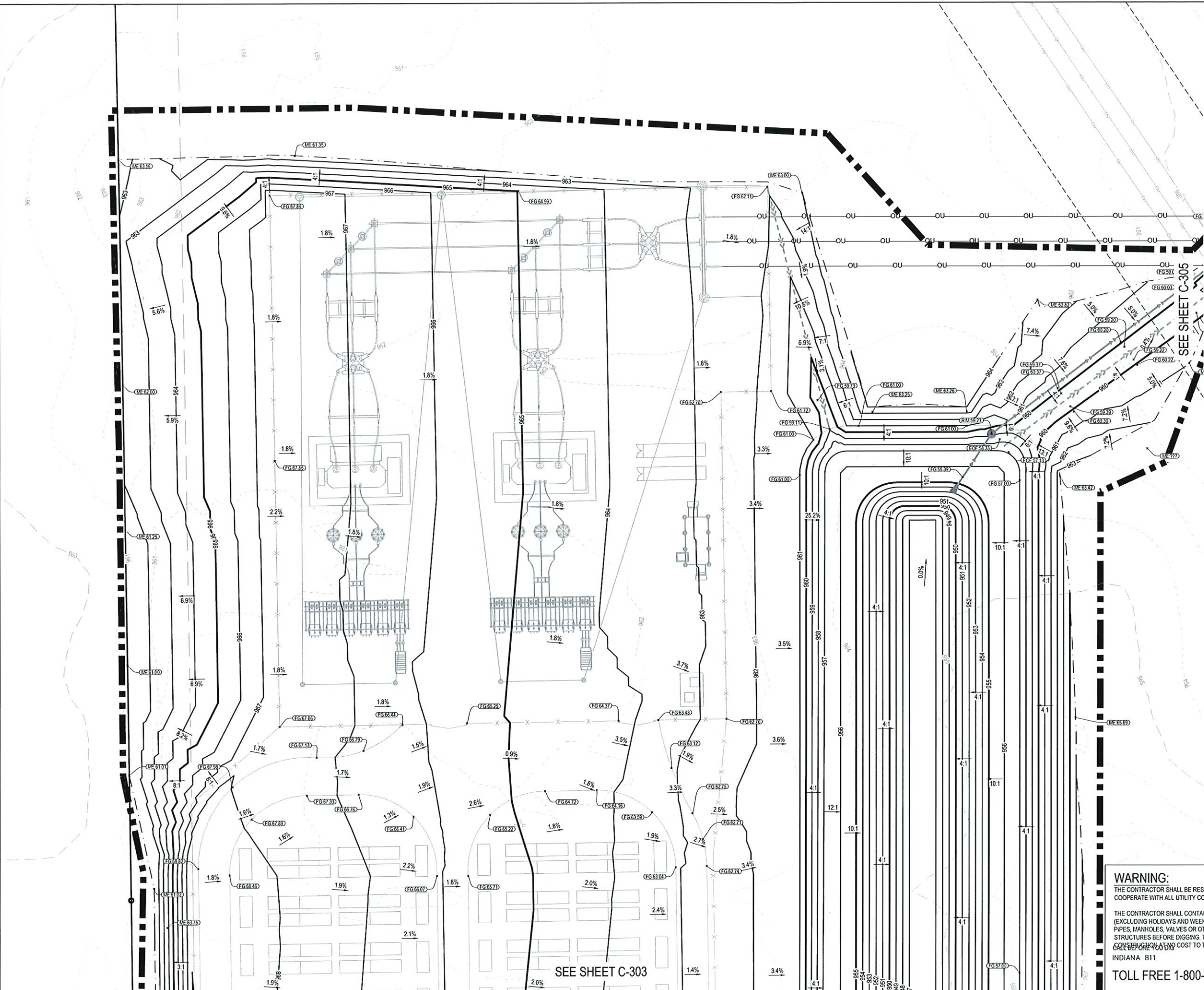
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DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	OVERALL GRADING PLAN
SHEET NO.:	C-301

WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

INDIANA 811
 TOLL FREE 1-800-382-5544

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- LEGEND**
- LOT LINE
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - GRADING LIMITS
 - CONSTRUCTION LIMITS
 - STRUCTURE RIM SPOT ELEVATION
 - MATCH EXISTING ELEVATION
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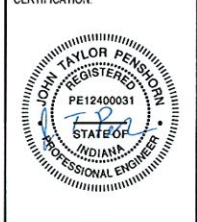
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2321 CLUB MERIDIAN DRIVE
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PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:
Jupiter
POWER

PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

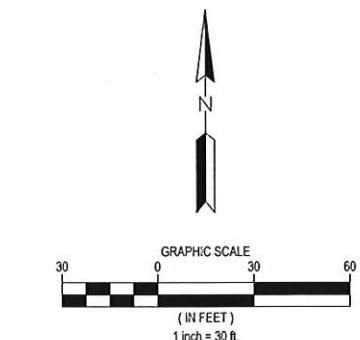
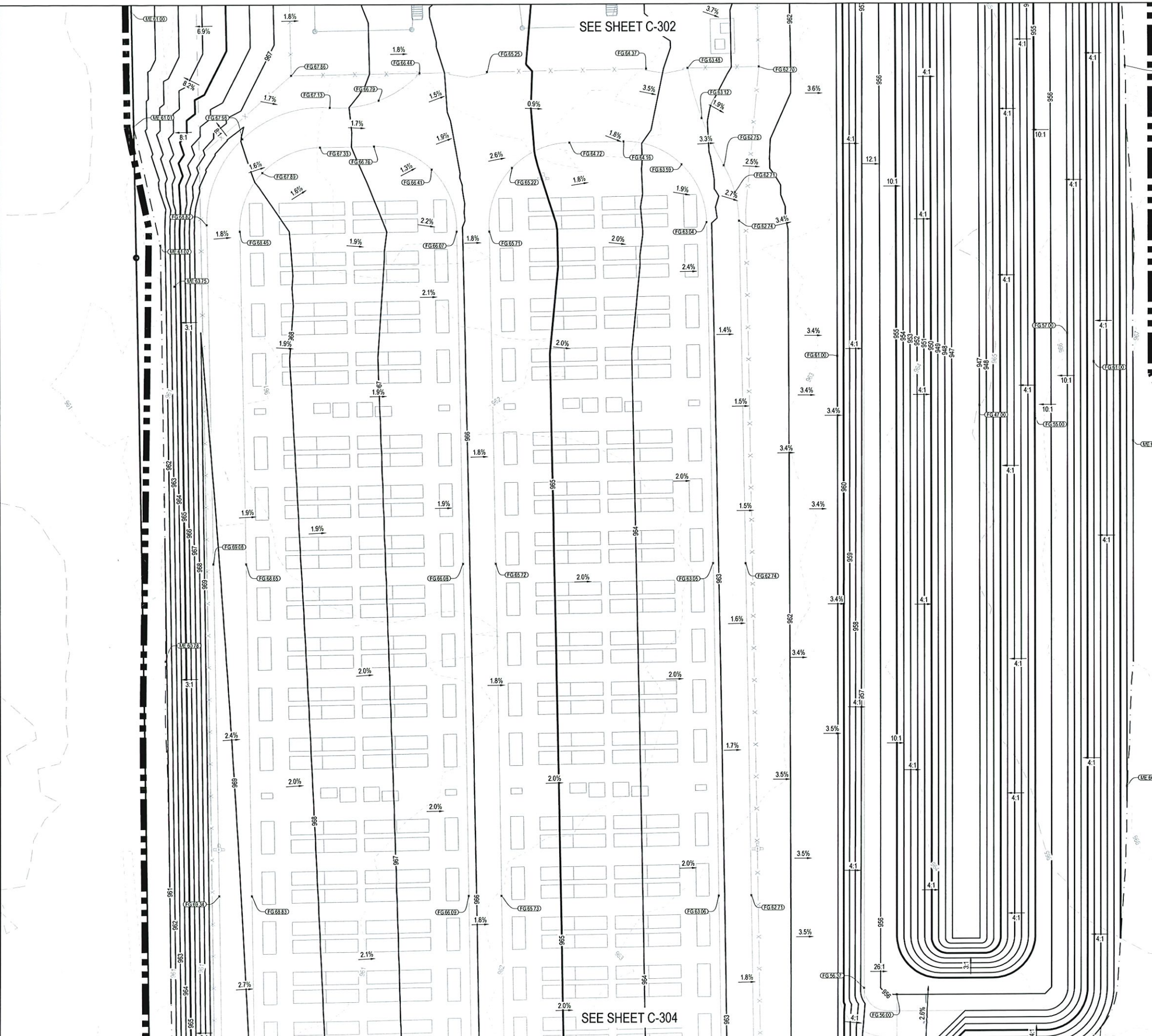
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05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II



PROJECT NO.:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED GRADING PLAN
SHEET NO.:	C-302

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LEGEND

- LOT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- STRUCTURE RIM SPOT ELEVATION
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- SWALE
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- FLARED END SECTION

NOTES

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 TOLL FREE 1-800-382-5544

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CLIENT:

PROJECT TITLE:
LIBERTY II

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

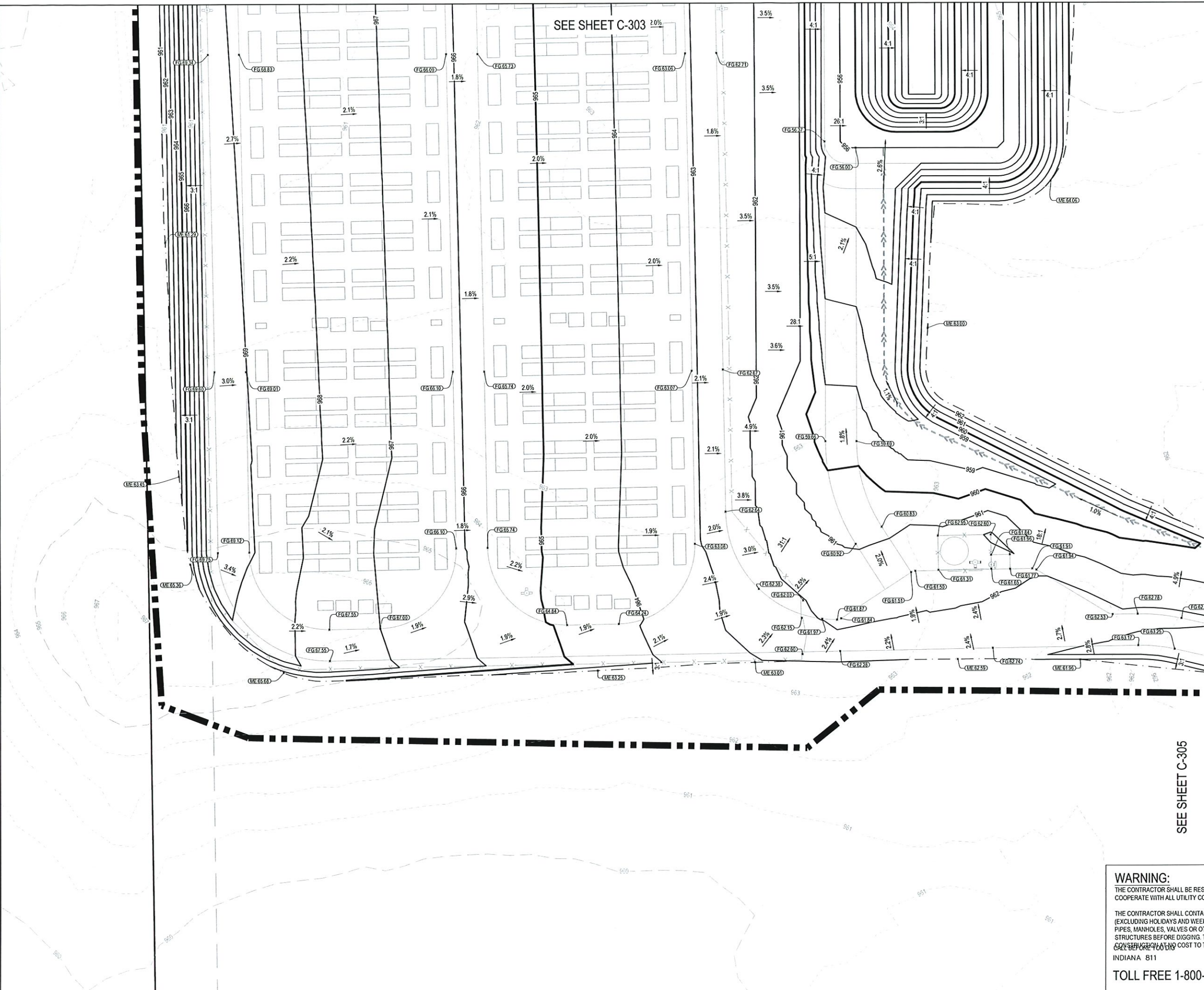
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05/04/2025	SITE PLAN SUBMITTAL	1

CERTIFICATION

PROJECT NO.:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2025
ISSUE NO.:	1
SHEET TITLE:	ENLARGED GRADING PLAN
SHEET NO.:	C-303

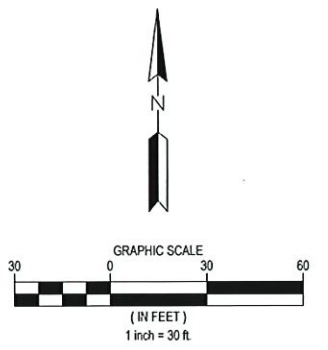
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SEE SHEET C-303

SEE SHEET C-305



LEGEND

- LOT LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
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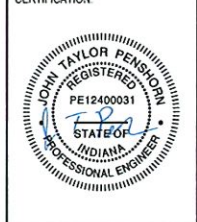


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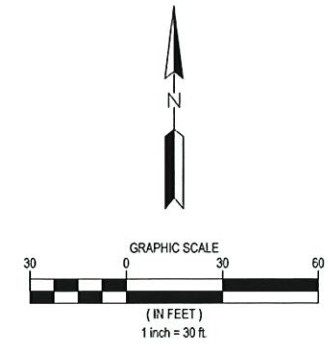
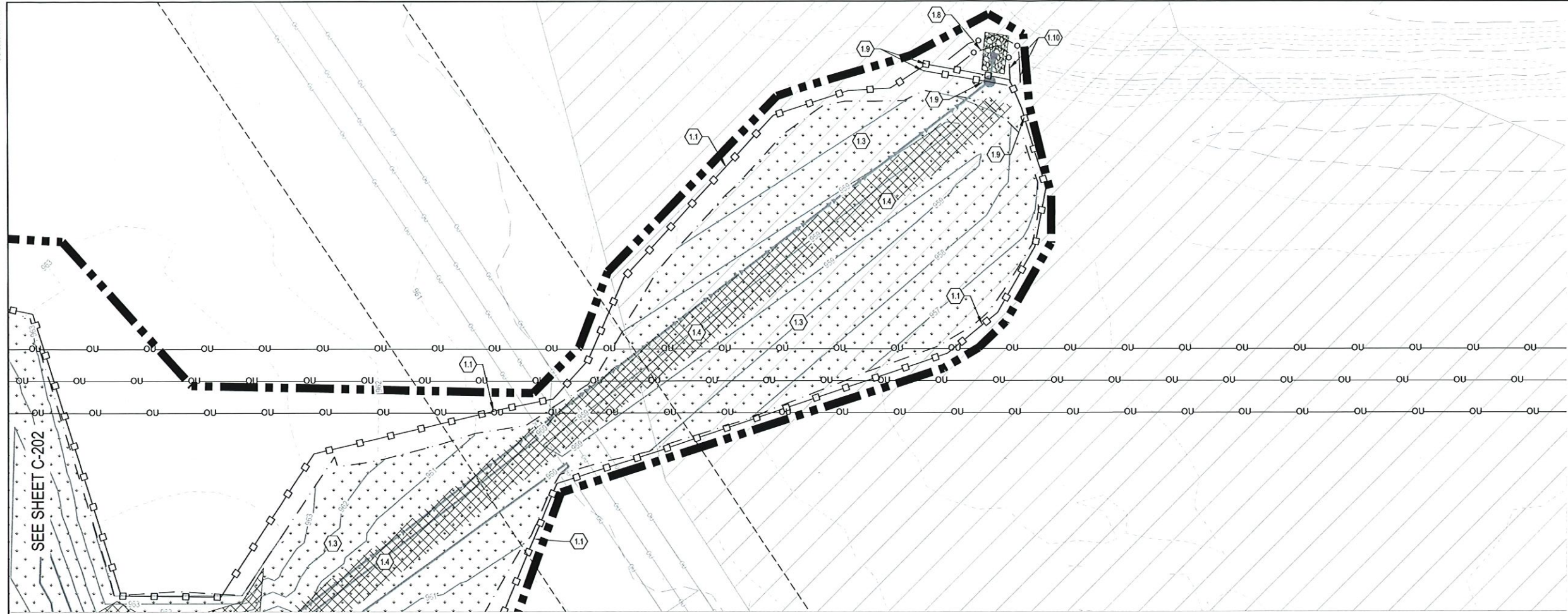
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE:	DESCRIPTION:	ISSUE NO.:
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO.:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED GRADING PLAN
SHEET NO.:	C-304

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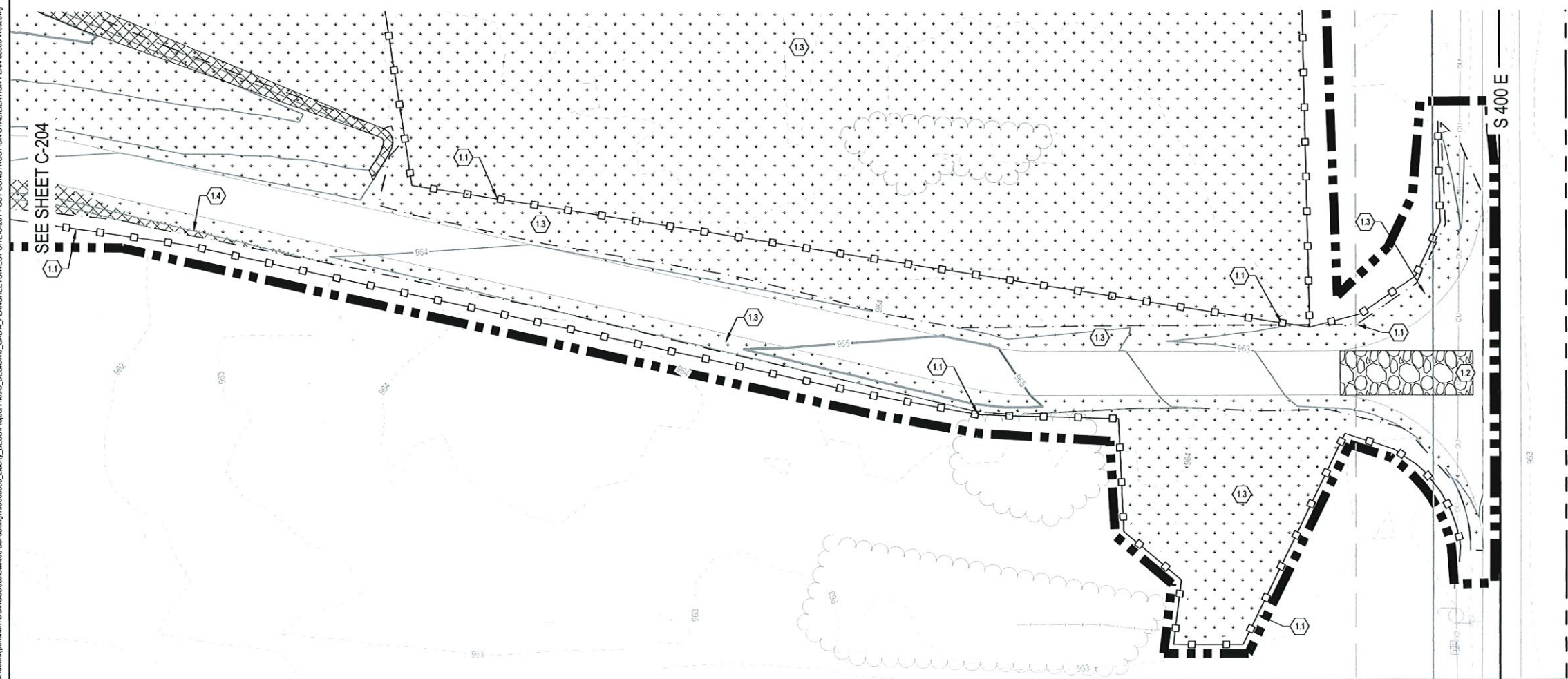


LEGEND

	LOT LINE
	EASEMENT LINE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	GRADING LIMITS
	CONSTRUCTION LIMITS
	STABILIZED CONSTRUCTION EXIT
	EROSION CONTROL BLANKET
	SILT FENCE
	FLOTATION SILT CURTAIN
	BIOROLL
	PERMANENT STABILIZATION - SEE LANDSCAPE PLANS
	RIPRAP
	CULVERT PROTECTION

- NOTES**
- SEE SHEET G-002 FOR ADDITIONAL PROJECT NOTES.
 - CONSTRUCTION SHALL HAVE STABILIZED EXIT AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR IS ULTIMATELY RESPONSIBLE TO PROTECT DOWNSTREAM WATERS FROM CONSTRUCTION RUNOFF.
 - CONSTRUCTION LIMITS AND SILT FENCE ARE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY, WHERE APPLICABLE.
 - ROLLED EROSION CONTROL PRODUCT SHALL BE INSTALLED ON ALL SLOPES 4:1 OR STEEPER, AND IN SWALE DITCHES, UPON COMPLETION OF GRADING.

- KEYNOTES**
- EROSION CONTROL ITEMS
 - SILT FENCE MACHINE SLICED - SEE DETAIL 1/C-801
 - STABILIZED CONSTRUCTION EXIT - SEE DETAIL 2/C-801
 - PERMANENT STABILIZATION - SEE LANDSCAPE PLAN
 - EROSION CONTROL BLANKET - SEE DETAIL 3/C-801
 - RIPRAP AT OUTLET - SEE DETAIL 5/C-801
 - EMERGENCY OVERFLOW SPILLWAY - SEE DETAIL 4/C-801
 - CULVERT PROTECTION - SEE DETAIL 2/C-802
 - INSTALL CLASS II RIPRAP BANK STABILIZATION TO OHWL. PLACE GRANULAR FILTER BLANKET OR GEOTEXTILE FABRIC, TYPE IV (INDOT SPEC 616.11) UNDER RIPRAP - SEE DETAIL 4/C-803
 - DOUBLE-ROW SILT FENCE - SEE DETAIL 1/C-801
 - DOUBLE-ROW SILT CURTAIN - SEE DETAIL 3/C-803



WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT HIS OWN COST TO THE OWNER.

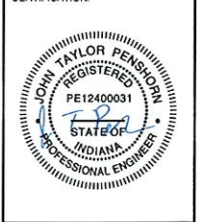
INDIANA 811
 TOLL FREE 1-800-382-5544

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 2321 CLUB MERIDIAN DRIVE
 SUITE E
 OKEMOS, MI 48864
 PHONE: 517-349-9499
 WWW.STANTEC.COM

CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

ISSUE NO.:	1
DATE:	05/04/2026
DESCRIPTION:	SITE PLAN SUBMITTAL

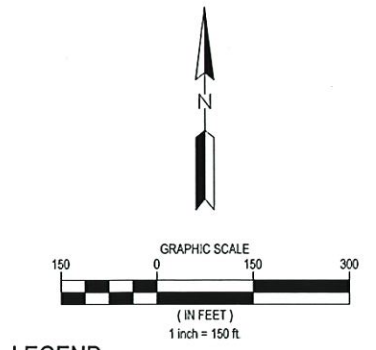
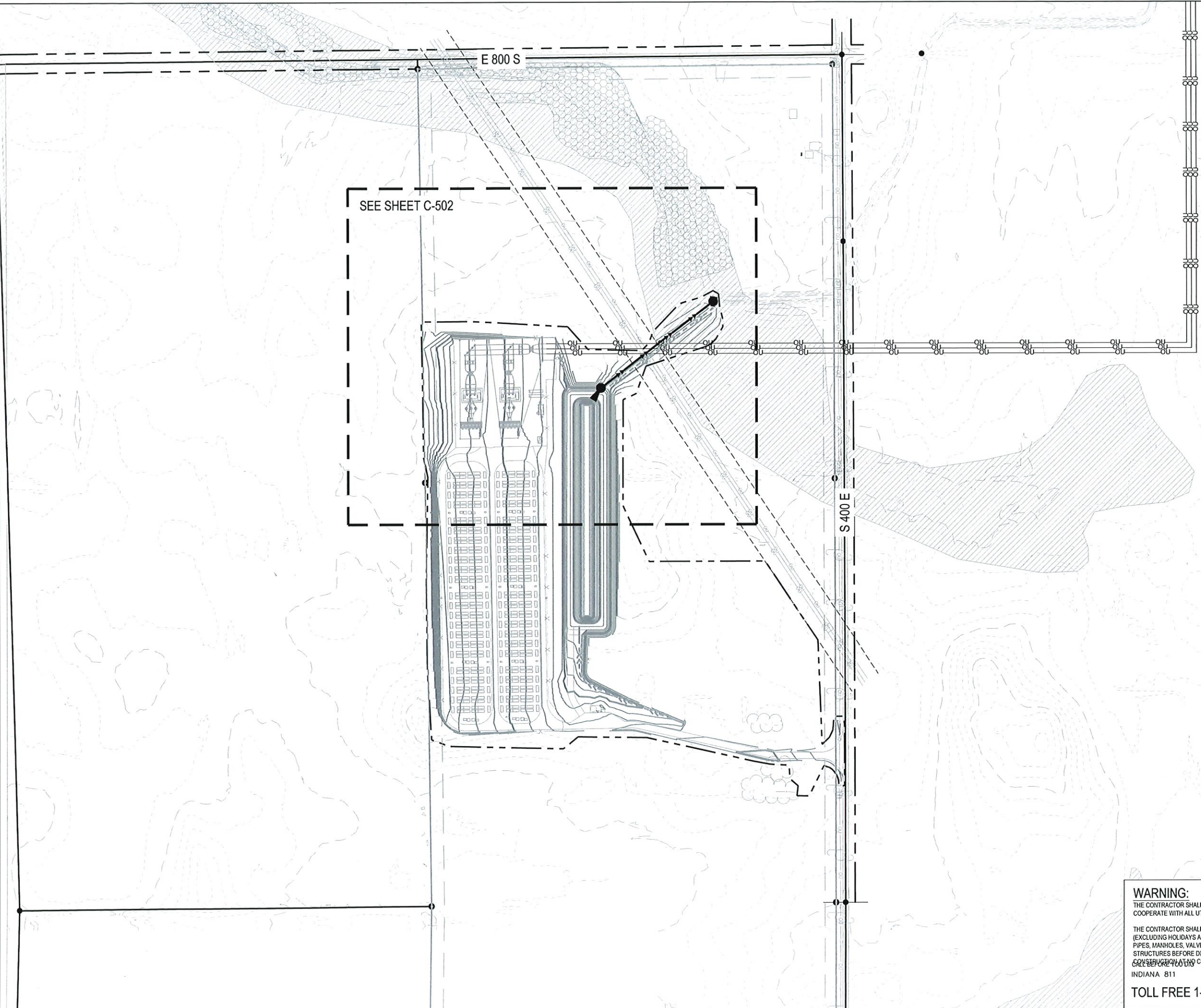


PROJECT NO.:	190300335				
DWN BY:	THR	CHKD BY:	RAG	APPD BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	ENLARGED POST-CONSTRUCTION STABILIZATION PLAN				
SHEET NO.:	C-205				

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LEGEND

—	LOT LINE
- - - 901	EXISTING MINOR CONTOUR
- - - 900	EXISTING MAJOR CONTOUR
- - - 801	PROPOSED MINOR CONTOUR
- - - 800	PROPOSED MAJOR CONTOUR
—	STORM SEWER
- - -	SWALE
●	STORM MANHOLE
▼	FLARED END SECTION

STORM STRUCTURE SCHEDULE			
STRUCTURE ID	SIZE*	DETAIL	
		STRUCTURE	CASTING
FES 101	12" Ø	SEE DETAIL 6/C-801	-
FES 104	12" Ø	SEE DETAIL 6/C-801	-
OCS 102	48" Ø	SEE DETAIL 7/C-801	GRATE
STMH 103	48" Ø	SEE DETAIL E 720-CBST-08/C-803	R-1642

* STRUCTURE SIZES ARE APPROXIMATE. PRECAST MANUFACTURER TO CONFIRM SIZES AND ADJUST AS NECESSARY, PRIOR TO BID OPENING

* NEENAH OR APPROVED EQUAL

WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT THE COST TO THE OWNER.

INDIANA 811
 TOLL FREE 1-800-382-5544

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 OKEMOS, MI 48864
 PHONE: 517-349-9499
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CLIENT:
Jupiter
 POWER

PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

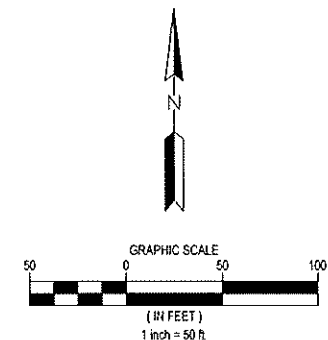
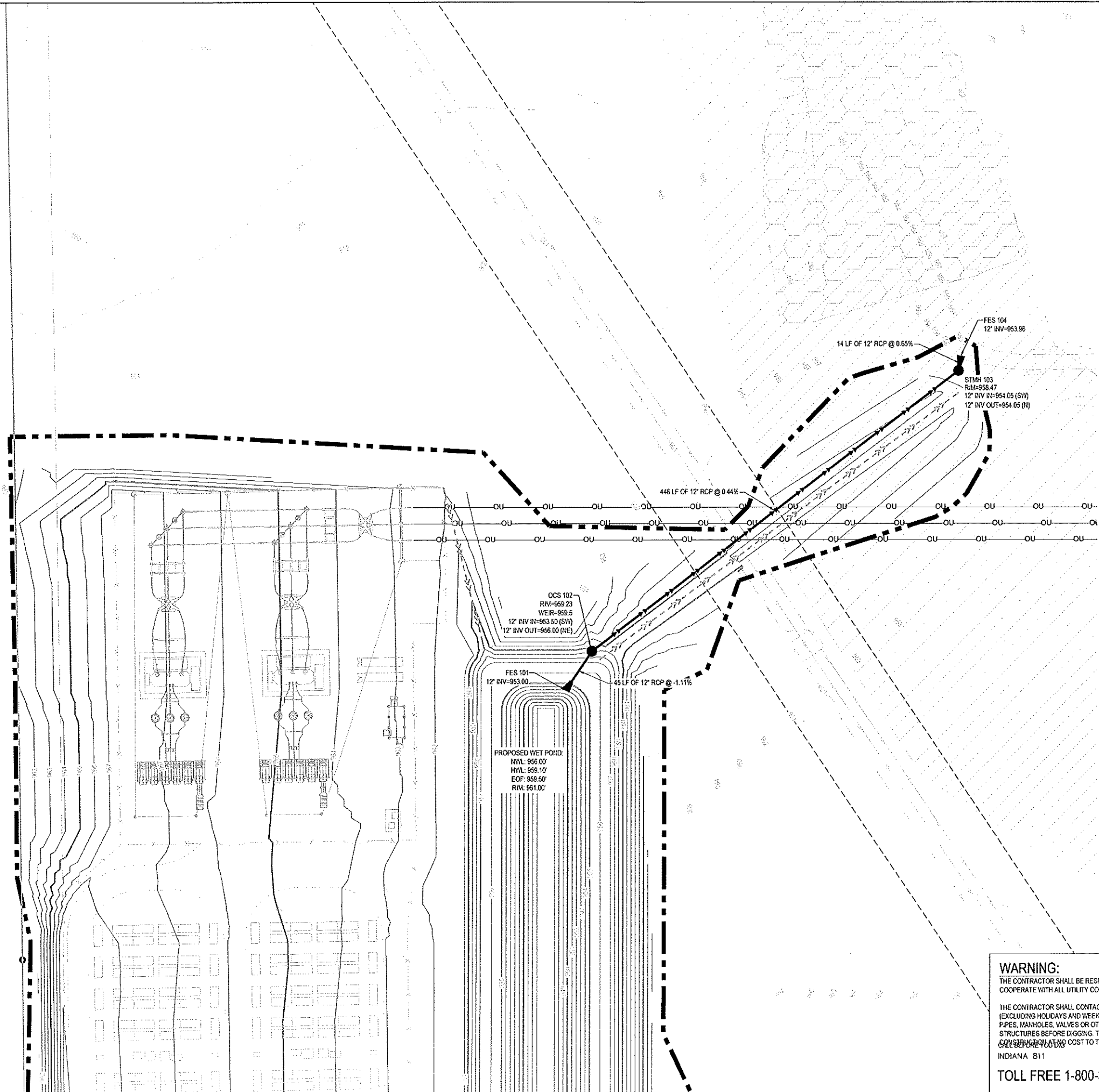
DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1

CERTIFICATION:

PROJECT NO.: 190300335
 DWN BY: THR
 CHKD BY: RAG
 APPD BY: JTP
 ISSUE DATE: 05/04/2026
 SHEET TITLE: OVERALL STORM SEWER PLAN
 SHEET NO.: C-501

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LEGEND

---	LOT LINE
- - -	EXISTING MINOR CONTOUR
- - -	EXISTING MAJOR CONTOUR
- - -	PROPOSED MINOR CONTOUR
- - -	PROPOSED MAJOR CONTOUR
—>—>—>	STORM SEWER
->->->->	SWALE
●	STORM MANHOLE
○	FLARED END SECTION

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POWER

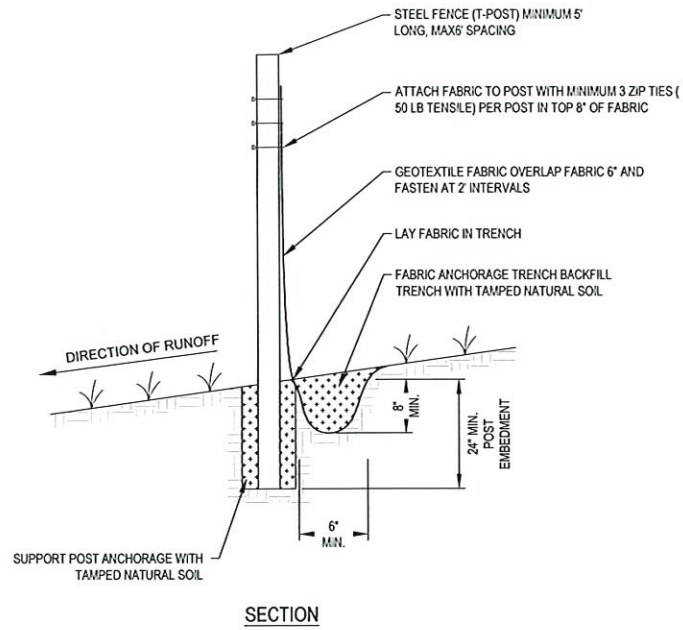
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.	PROJECT TITLE
05/04/2026	SITE PLAN SUBMITTAL	1	LIBERTY II



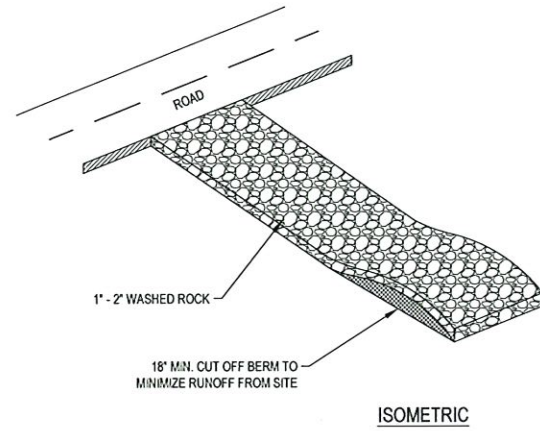
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DWN BY:	THR	CHK'D BY:	RAG	APP'D BY:	JTP
ISSUE DATE:	05/04/2026				
ISSUE NO.:	1				
SHEET TITLE:	ENLARGED STORM SEWER PLAN				
SHEET NO.:	C-502				

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.
THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
INDIANA 811
TOLL FREE 1-800-382-5544



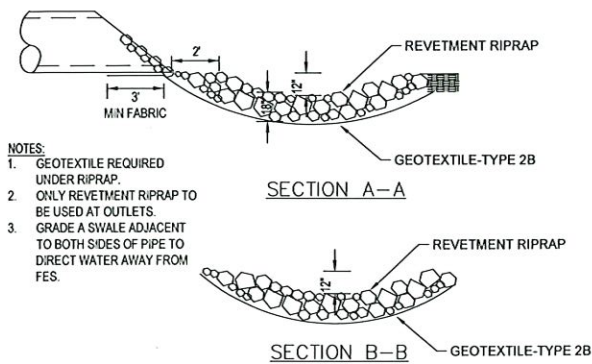
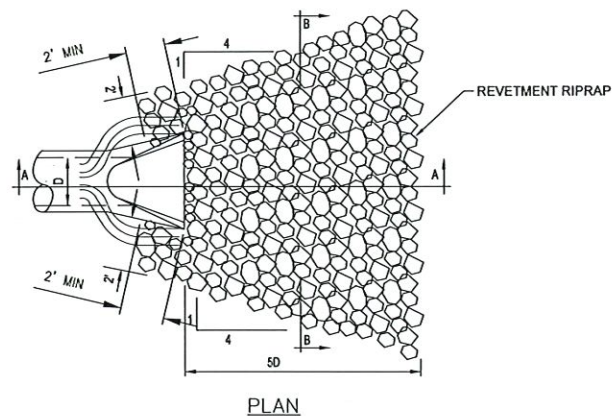
NOTES:
1. WOOD FENCE POSTS ACCEPTABLE WHERE NOT DIRECTLY UPLAND OF DRAINAGE PROTECTION AREA

1 SILT FENCE MACHINE SLICED
C-801 NOT TO SCALE



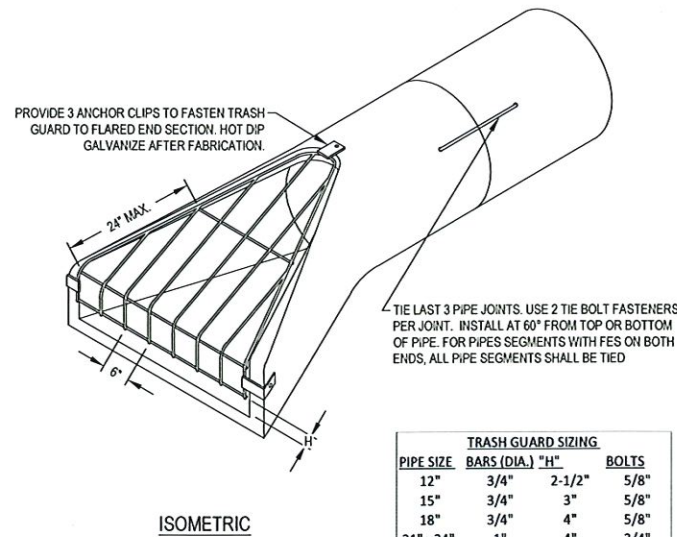
NOTES:
1. FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH ROCK.
2. ENTRANCE MUST BE MAINTAINED TO PREVENT SEDIMENTATION ON PUBLIC ROADWAYS.
3. FUGITIVE ROCKS SHALL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.

2 STABILIZED CONSTRUCTION EXIT
C-801 NOT TO SCALE



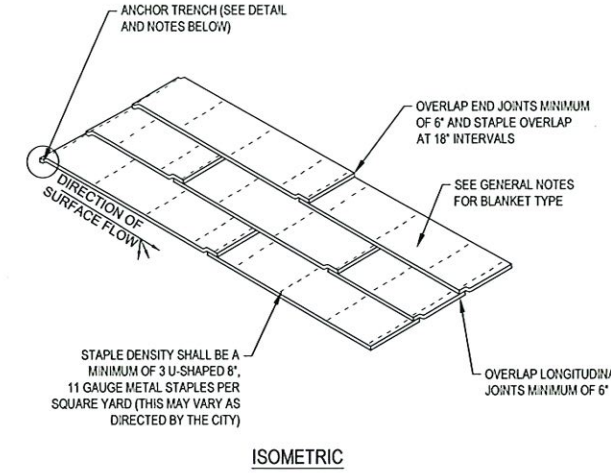
NOTES:
1. GEOTEXTILE REQUIRED UNDER RIPRAP.
2. ONLY REVETMENT RIPRAP TO BE USED AT OUTLETS.
3. GRADE A SWALE ADJACENT TO BOTH SIDES OF PIPE TO DIRECT WATER AWAY FROM FES.

5 RIPRAP AT OUTLET
C-801 NOT TO SCALE



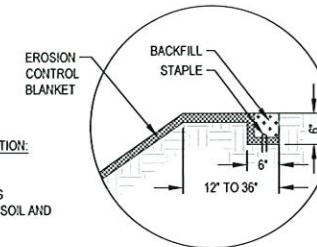
PIPE SIZE	BAR (DIA.)	"H"	BOLTS
12"	3/4"	2-1/2"	5/8"
15"	3/4"	3"	5/8"
18"	3/4"	4"	5/8"
21" - 24"	1"	4"	3/4"
27" - 36"	1"	5"	3/4"
42"	1"	6"	3/4"
48" - 54"	1-1/4"	6"	1"
60" - 72"	1-1/4"	7"	1"
78" - 90"	1-1/4"	8"	1"

6 RCP FLARED END SECTION AND TRASH GUARD
C-801 NOT TO SCALE



STAPLE DENSITY SHALL BE A MINIMUM OF 3 U-SHAPED 8", 11 GAUGE METAL STAPLES PER SQUARE YARD (THIS MAY VARY AS DIRECTED BY THE CITY)

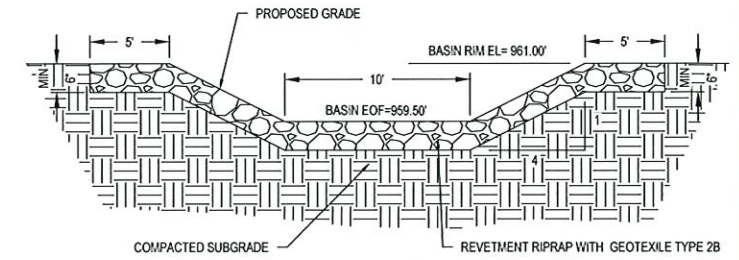
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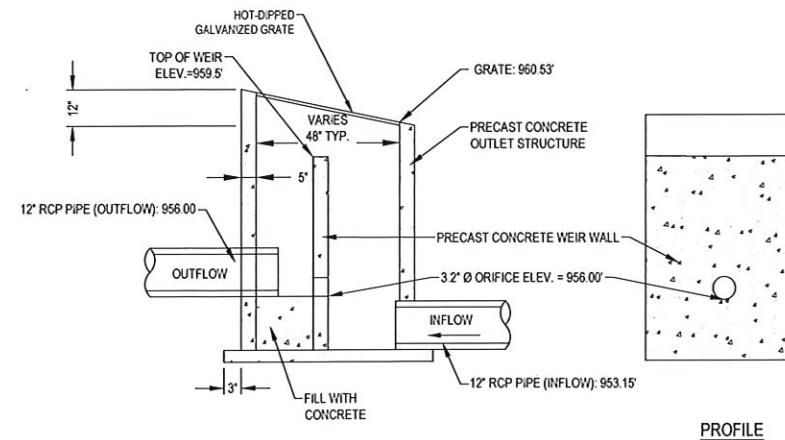
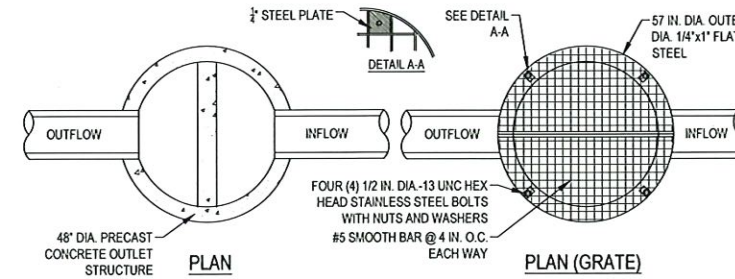
ANCHOR TRENCH INSTALLATION:
1. DIG 6" X 6" TRENCH
2. LAY BLANKET IN TRENCH
3. STAPLE AT 1.5' INTERVALS
4. BACKFILL WITH NATURAL SOIL AND COMPACT

ANCHOR TRENCH DETAIL

3 EROSION CONTROL BLANKET INSTALLATION
C-801 NOT TO SCALE



4 EMERGENCY OVERFLOW SPILLWAY
C-801 NOT TO SCALE

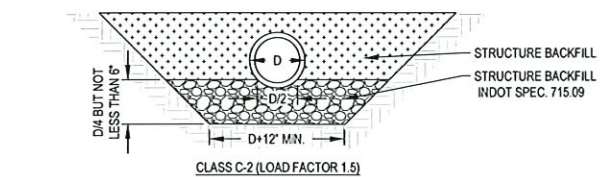
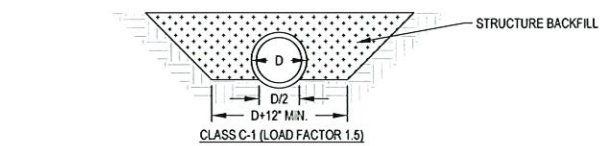
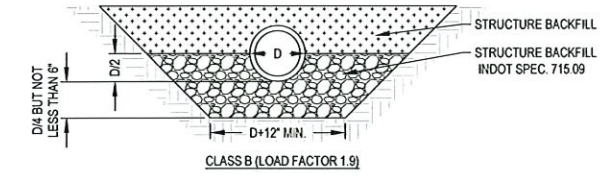
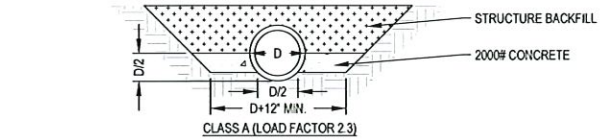


NOTES:
1. DOG HOUSES MUST BE GROUTED BOTH INSIDE AND OUTSIDE OF STRUCTURE. WASTERSTOP GROUT RING (RCP) OR WATERTIGHT BOOT (PVC) REQUIRED
2. HAALA INDUSTRIES POND SKIMMER GRATE OR EQUAL REQUIRED

SECTION

PROFILE

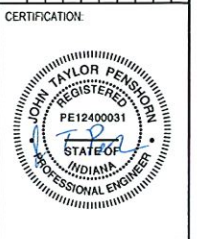
7 OUTLET CONTROL STRUCTURE
C-801 NOT TO SCALE



NOTE:
1. "D" DENOTES OUTSIDE DIAMETER OF PIPE

8 BEDDING METHODS FOR RCP, CMP & DIP
C-801 NOT TO SCALE

ISSUE NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	05/04/2026

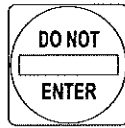


PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1

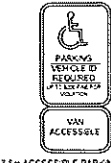
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R1-1
30"x30"



R5-1
37"x37"



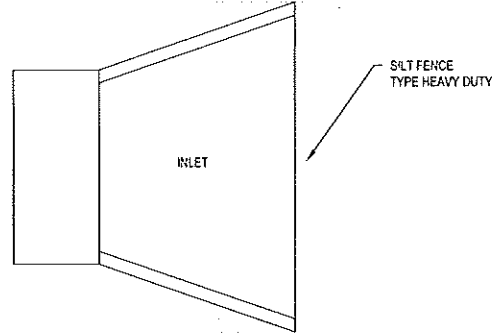
R7-8-1 ACCESSIBLE PARKING - 12"x15"
R7-8-1P VAN ACCESSIBLE - 12"x15"



R7-1 MODIFIED NO PARKING ANY TIME
EXCLUDE ARROWS - 12"x15"



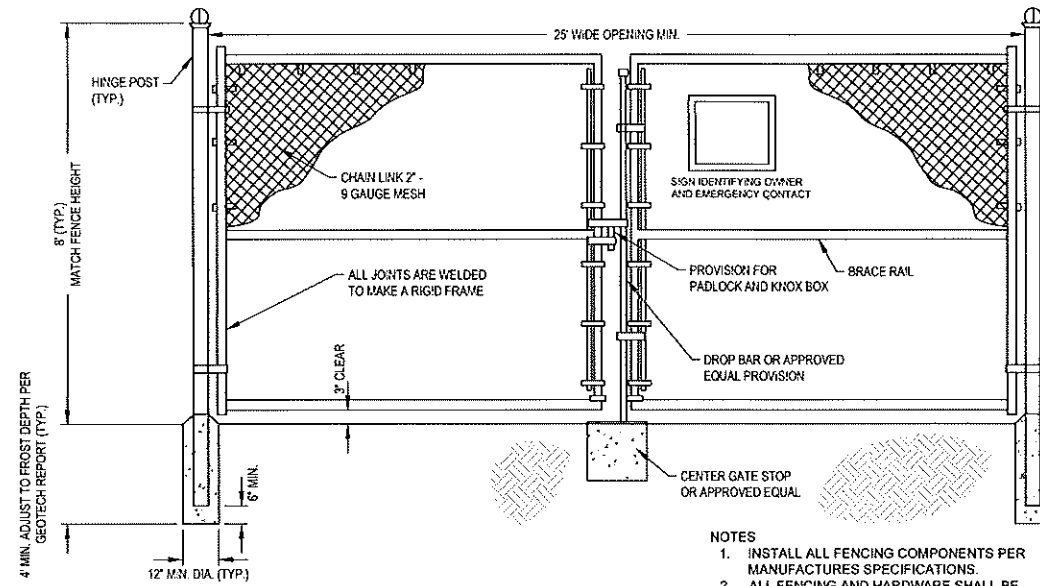
R7-1 MODIFIED NO PARKING ANY TIME
EXCLUDE ARROWS - 12"x15"



PLACE SILT FENCE AT CULVERT INLET APRONS. CONTRACTOR SHALL MAINTAIN THIS DEVICE UNTIL VEGETATION IS ESTABLISHED, THEN REMOVE. CULVERT PROTECTION SHALL BE FULL COMPENSATION FOR FURNISHING, INSTALLING AND MAINTAINING SILT FENCE AT INLET OF CULVERT.

1 STANDARD PARKING LOT SIGNS
C-802 NOT TO SCALE

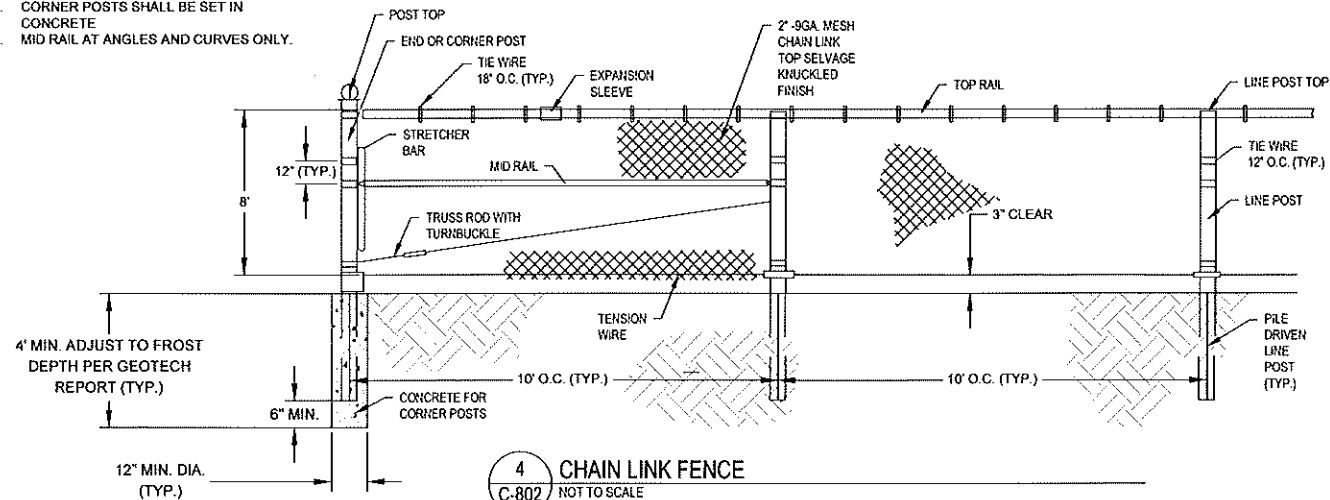
2 CULVERT END PROTECTION
C-802 NOT TO SCALE



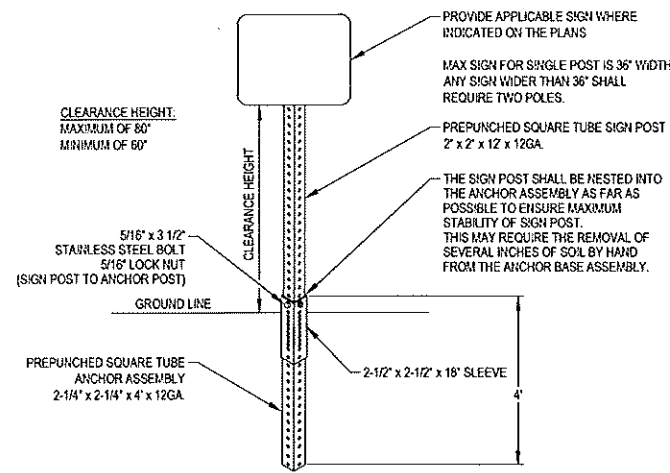
NOTES
1. INSTALL ALL FENCING COMPONENTS PER MANUFACTURES SPECIFICATIONS.
2. ALL FENCING AND HARDWARE SHALL BE GALVANIZED, UNLESS OTHERWISE NOTED.
3. GATE POSTS SHALL BE SET IN CONCRETE.

3 25' WIDE CHAIN LINK FENCE DOUBLE SWING GATE
C-802 NOT TO SCALE

NOTES
1. INSTALL ALL FENCING COMPONENTS PER MANUFACTURES SPECIFICATIONS.
2. ALL FENCING AND HARDWARE SHALL BE GALVANIZED, UNLESS OTHERWISE NOTED.
3. CORNER POSTS SHALL BE SET IN CONCRETE
4. MID RAIL AT ANGLES AND CURVES ONLY.

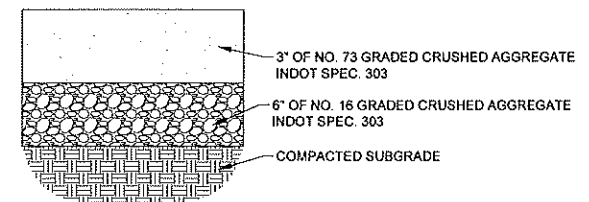


4 CHAIN LINK FENCE
C-802 NOT TO SCALE



NOTES
1. SEE MUTCD CHAPTER 2B FOR PUNCHING CODE AND DETAILED DRAWINGS OF TYPE "C" SIGN PANELS.
2. SEE INDOT STANDARD DRAWINGS DIVISION 800 FOR DETAILS OF TRAFFIC SIGN INSTALLATION.

5 SIGN POST
C-802 NOT TO SCALE



6 GRAVEL SURFACING
C-802 NOT TO SCALE

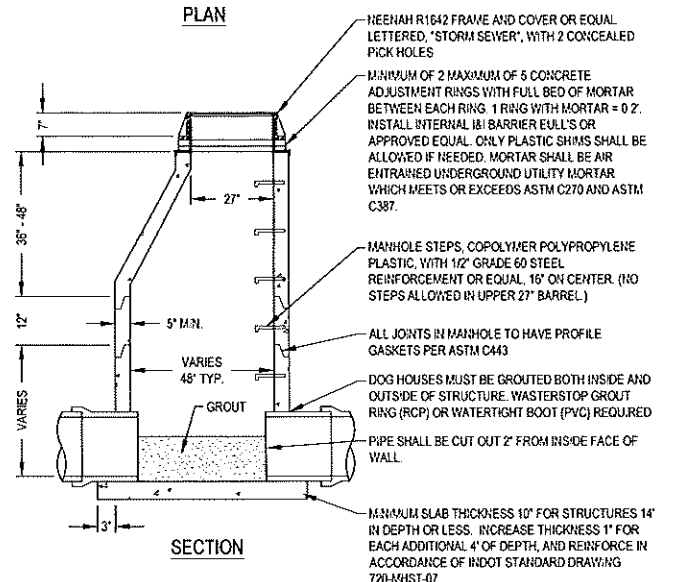
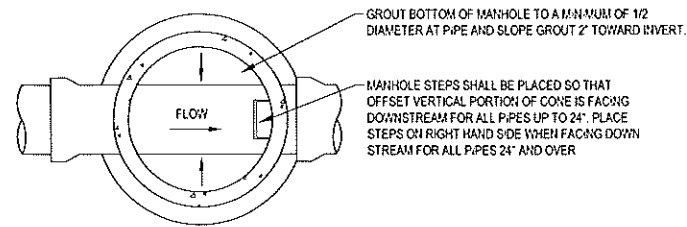
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ISSUE NO.	1
DATE	05/04/2026
DESCRIPTION	SITE PLAN SUBMITTAL



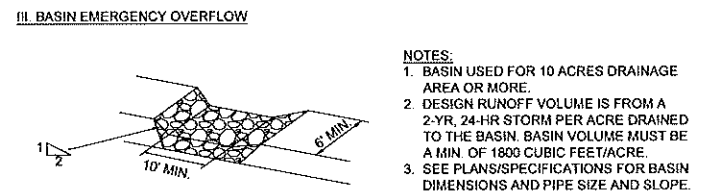
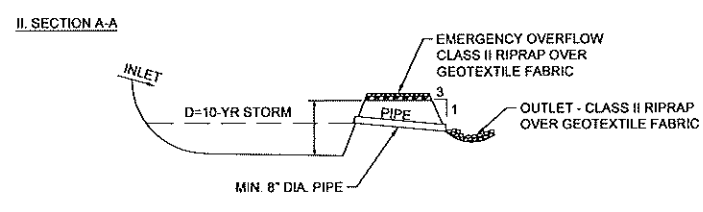
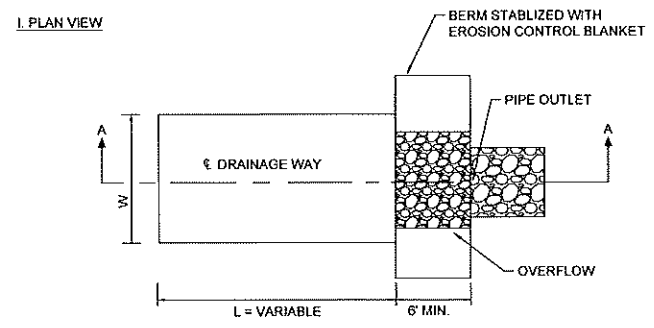
PROJECT NO.	190300335
DWN BY	THR
CHKD BY	RAG
APPD BY	JTP
ISSUE DATE	05/04/2026
ISSUE NO.	1
SHEET TITLE	DETAILS
SHEET NO.	C-802

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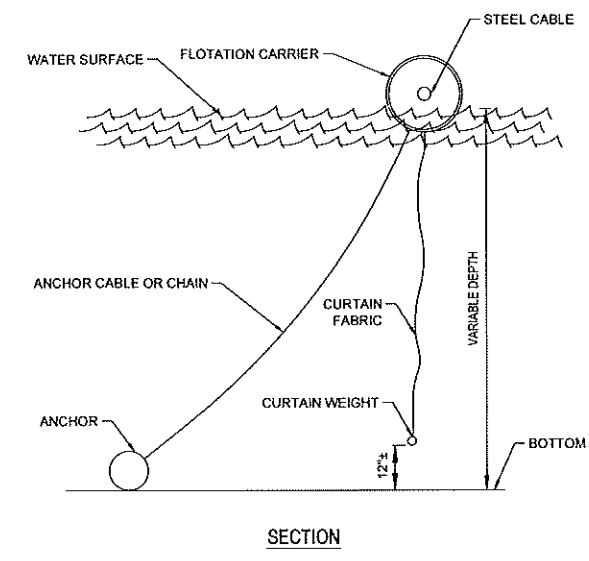
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1 STORM SEWER MANHOLE
C-803 NOT TO SCALE



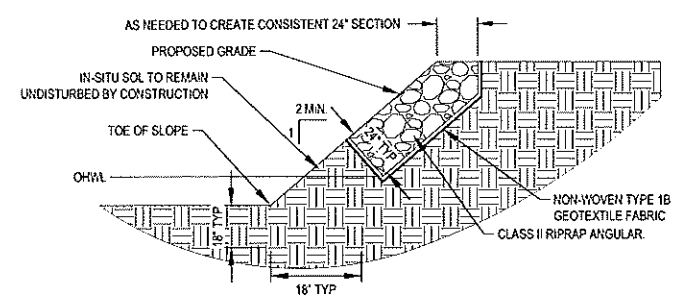
2 TEMPORARY SEDIMENTATION BASIN - PIPE OUTLET
C-803 NOT TO SCALE



NOTES:

1. DOUBLE FLOTATION SILT CURTAIN SHOULD BE SPACED 10' APART.
2. CURTAIN LENGTH TO MATCH BOTTOM PROFILE AS CLOSELY AS POSSIBLE.
3. MAXIMUM INTERVAL FOR SPACING OF WEIGHT IS 15'.

3 FLOTATION SILT CURTAIN
C-803 NOT TO SCALE



NOTES:

1. RIPRAP SHALL BE CRUSHED, ANGULAR CLASS II. NO FIELDSTONE ALLOWED.

4 RIPRAP ARMOR
C-803 NOT TO SCALE

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2321 CLUB MERIDIAN DRIVE
SUITE E
OKEMOS, IN 46564
PHONE: 517-349-9499
WWW.STANTEC.COM

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Jupiter
POWER

PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1

CERTIFICATION:

PROJECT # : 190300335

DWN BY: THR CHKD BY: RAG APPD BY: JTP

ISSUE DATE: 05/04/2026

ISSUE NO.: 1

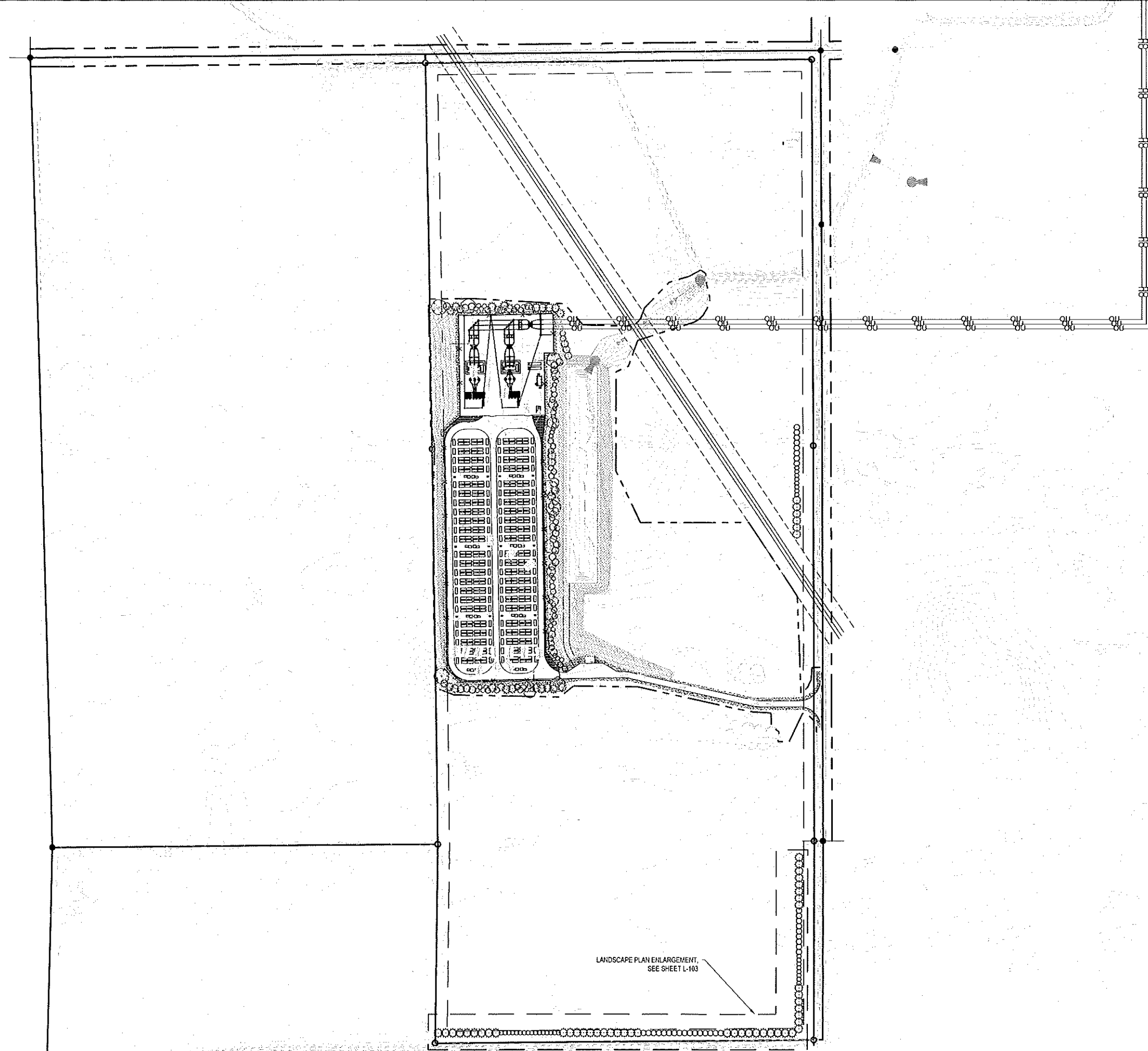
SHEET TITLE: DETAILS

SHEET NO.: C-803

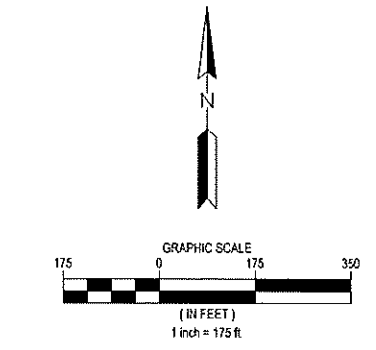
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LANDSCAPE PLAN ENLARGEMENT,
SEE SHEET L-103



LEGEND

- PROPERTY BOUNDARY
- - - EASEMENT LINE
- - - SETBACK LINE
- - - RIGHT OF WAY LINE
- - - SECTION LINE
- ... EXISTING MINOR CONTOUR
- ... EXISTING MAJOR CONTOUR
- ... PROPOSED MINOR CONTOUR
- ... PROPOSED MAJOR CONTOUR
- - - GRADING LIMITS
- - - CONSTRUCTION LIMITS
- - - EDGER, SEE TURF RESTORATION NOTES
- ███ ROCK MULCH, SEE LANDSCAPE NOTES
- ███ LOW MAINTENANCE TURF SEED
SEE TURF RESTORATION NOTES
- ███ NATIVE SEED MIX
SEE TURF RESTORATION NOTES

PLANT PALETTE

SYMBOL	CODE	COMMON NAME
EVERGREEN TREES		
	TO	AMERICAN ARBORVITAE
	IA	AMERICAN HOLLY
	PA	NORWAY SPRUCE
	TP	WESTERN RED CEDAR
	PS	WHITE PINE
OVERSTORY TREES		
	TA	AMERICAN LINDEN 12'-14' HEIGHT AT INSTALLATION
	PW	BLACK CHERRY 12'-14' HEIGHT AT INSTALLATION
	QM	CHINKAPIN OAK 12'-14' HEIGHT AT INSTALLATION
	AO	OHIO BUCKEYE 12'-14' HEIGHT AT INSTALLATION
	LT	TULIP POPLAR 12'-14' HEIGHT AT INSTALLATION
UNDERSTORY TREES		
	CP	WASHINGTON HAWTHORN 12'-14' HEIGHT AT INSTALLATION

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

INDIANA 811
TOLL FREE 1-800-382-5544



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PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46066

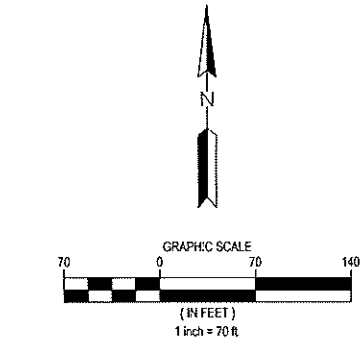
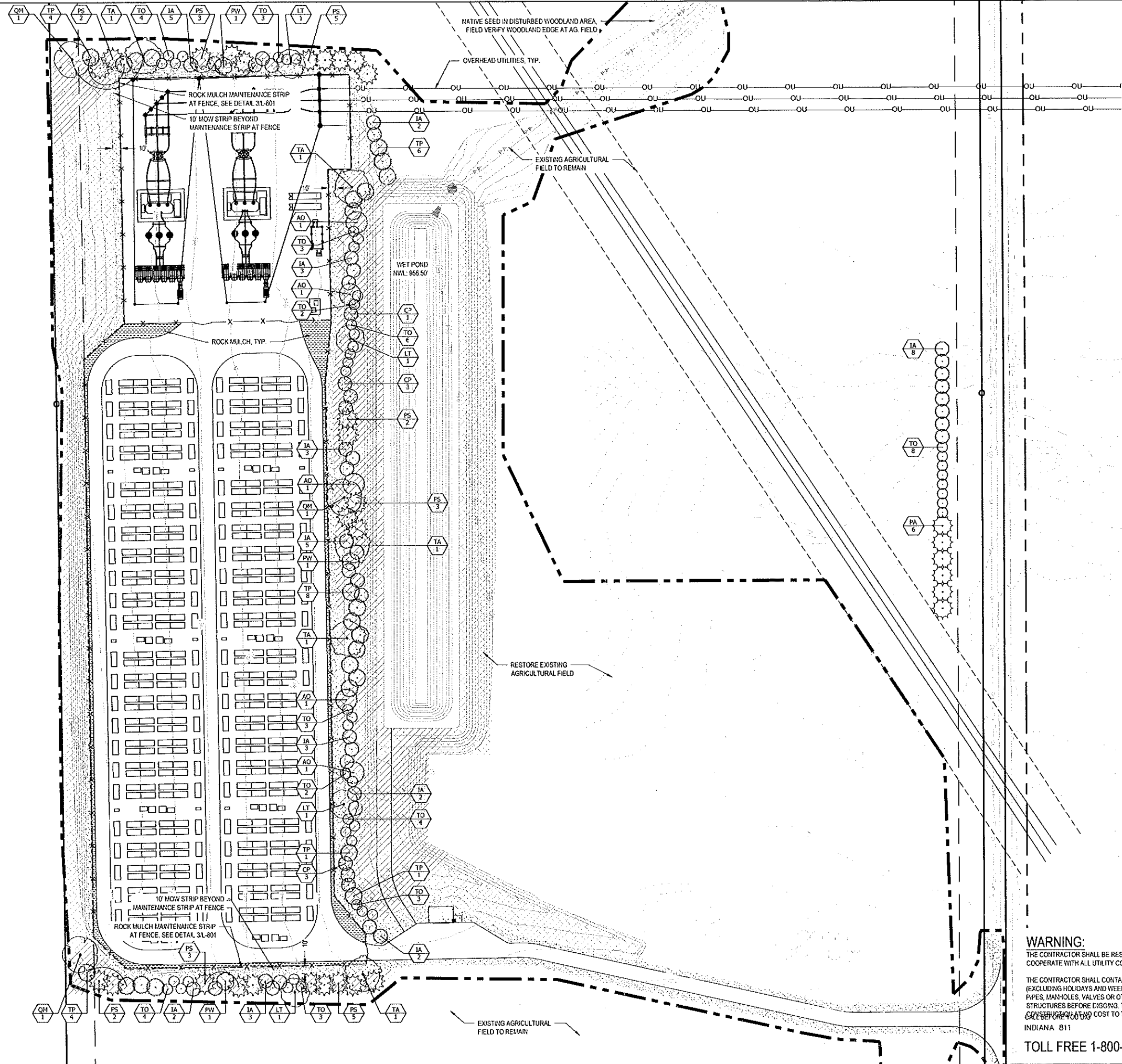
DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO.:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	OVERALL LANDSCAPE PLAN
SHEET NO.:	L-101

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- LEGEND**
- PROPERTY BOUNDARY
 - - - EASEMENT LINE
 - - - SETBACK LINE
 - - - RIGHT OF WAY LINE
 - - - SECTION LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - GRADING LIMITS
 - CONSTRUCTION LIMITS
 - - - EDGER, SEE TURF RESTORATION NOTES
 - ROCK MULCH, SEE LANDSCAPE NOTES
 - LOW MAINTENANCE TURF SEED SEE TURF RESTORATION NOTES
 - NATIVE SEED MIX SEE TURF RESTORATION NOTES

- PLANT PALETTE**
- | SYMBOL | CODE | COMMON NAME |
|-------------------------|------|---|
| EVERGREEN TREES | | |
| | TO | AMERICAN ARBORVITAE |
| | IA | AMERICAN HOLLY |
| | PA | NORWAY SPRUCE |
| | TP | WESTERN RED CEDAR |
| | PS | WHITE PINE |
| OVERSTORY TREES | | |
| | TA | AMERICAN LINDEN
12'-14" HEIGHT AT INSTALLATION |
| | PW | BLACK CHERRY
12'-14" HEIGHT AT INSTALLATION |
| | QM | CHINKAPIN OAK
12'-14" HEIGHT AT INSTALLATION |
| | AO | OHIO BUCKEYE
12'-14" HEIGHT AT INSTALLATION |
| | LT | TULIP POPLAR
12'-14" HEIGHT AT INSTALLATION |
| UNDERSTORY TREES | | |
| | CP | WASHINGTON HAWTHORN
12'-14" HEIGHT AT INSTALLATION |

WARNING:
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 THE CONTRACTOR SHALL CONTACT INDIANA 811 AT 1-800-382-5544 AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT HIS OWN COST TO THE OWNER.
 INDIANA 811

TOLL FREE 1-800-382-5544



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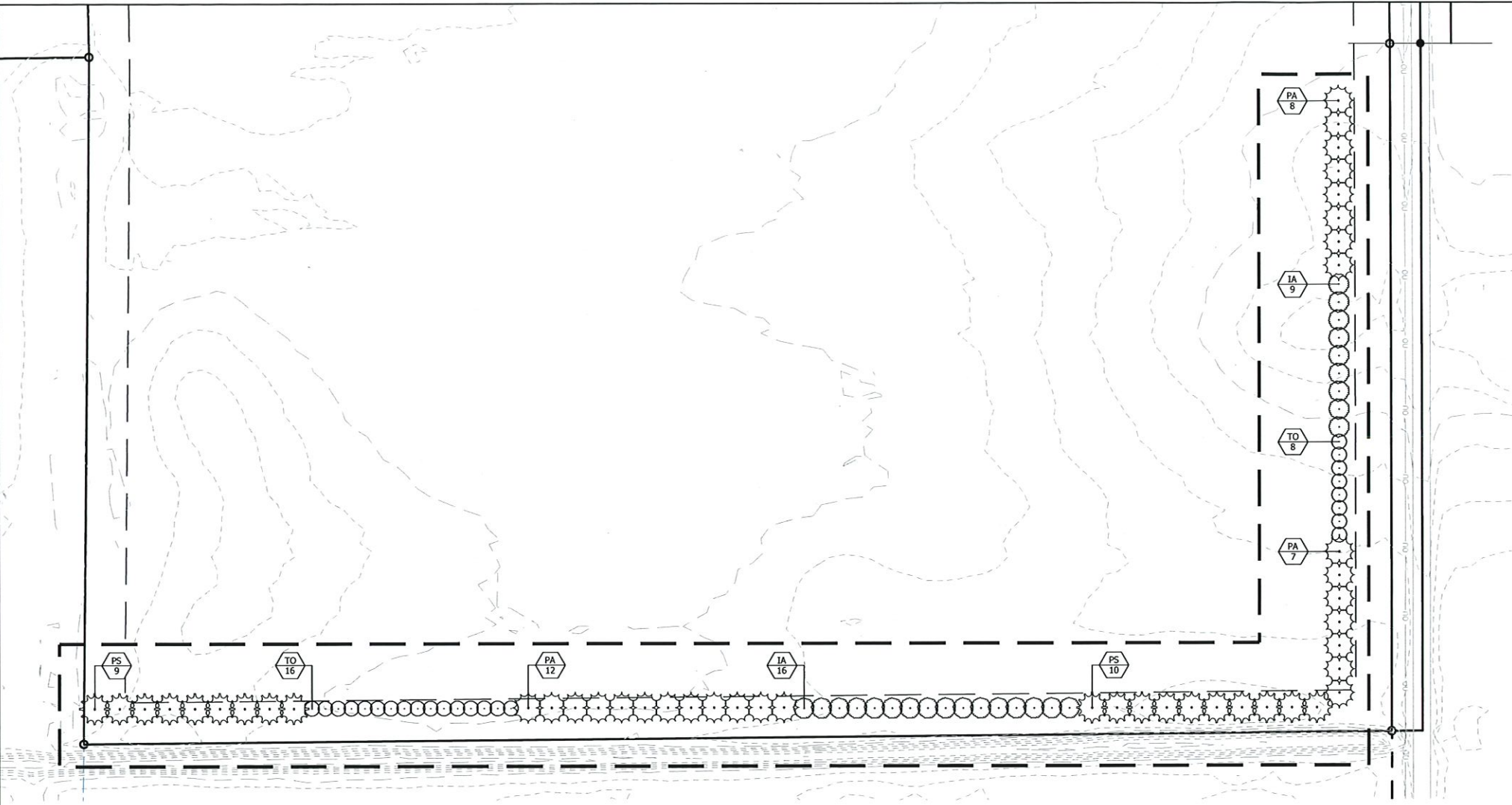
PROJECT TITLE:
LIBERTY II
 ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1

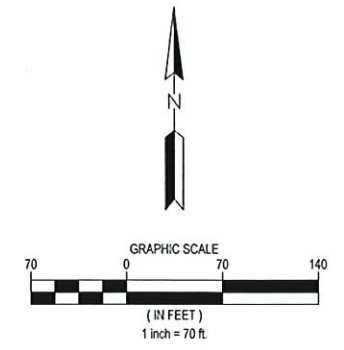
REGISTERED
 No. LA20000004
 STATE OF INDIANA
 LANDSCAPE ARCHITECT

PROJECT NO:	190300335
DWN BY:	THR
CHK'D BY:	RAG
APP'D BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED LANDSCAPE PLAN
SHEET NO.:	L-102

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1 LANDSCAPE PLAN ENLARGEMENT
L-103



LEGEND

- PROPERTY BOUNDARY
- EASEMENT LINE
- SETBACK LINE
- RIGHT OF WAY LINE
- SECTION LINE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- GRADING LIMITS
- CONSTRUCTION LIMITS
- EDGER, SEE TURF RESTORATION NOTES
- ROCK MULCH, SEE LANDSCAPE NOTES
- LOW MAINTENANCE TURF SEED
SEE TURF RESTORATION NOTES
- NATIVE SEED MIX
SEE TURF RESTORATION NOTES

PLANT PALETTE

SYMBOL	CODE	COMMON NAME
EVERGREEN TREES		
	TO	AMERICAN ARBORVITAE
	IA	AMERICAN HOLLY
	PA	NORWAY SPRUCE
	TP	WESTERN RED CEDAR
	PS	WHITE PINE
OVERSTORY TREES		
	TA	AMERICAN LINDEN 12'-14' HEIGHT AT INSTALLATION
	PW	BLACK CHERRY 12'-14' HEIGHT AT INSTALLATION
	QM	CHINKAPIN OAK 12'-14' HEIGHT AT INSTALLATION
	AO	OHIO BUCKEYE 12'-14' HEIGHT AT INSTALLATION
	LT	TULIP POPLAR 12'-14' HEIGHT AT INSTALLATION
UNDERSTORY TREES		
	CP	WASHINGTON HAWTHORN 12'-14' HEIGHT AT INSTALLATION

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PHONE: 517-349-9499
WWW.STANTEC.COM

CLIENT:
Jupiter
POWER

PROJECT TITLE:
LIBERTY II
ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

DATE	DESCRIPTION	ISSUE NO.
05/04/2026	SITE PLAN SUBMITTAL	1



PROJECT NO:	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2026
ISSUE NO.:	1
SHEET TITLE:	ENLARGED LANDSCAPE PLAN
SHEET NO.:	L-103

WARNING:
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INDIANA 811
TOLL FREE 1-800-382-5544



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PLANT SCHEDULE

SYMBOL	CODE	QTY	REMARKS	BOTANICAL NAME	COMMON NAME	CONT	CAL
EVERGREEN TREES							
	IA	63		ILEX OPACA	AMERICAN HOLLY	B&B	6' HT.
	PA	33		PICEA ABIES	NORWAY SPRUCE	B&B	6' HT.
	PS	44		PINUS STROBUS	WHITE PINE	B&B	6' HT.
	TO	69		THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	B&B	6' HT.
	TP	24		THUJA PLICATA	WESTERN RED CEDAR	B&B	6' HT.
OVERSTORY TREES							
	AO	5	12'-14" HEIGHT AT INSTALLATION	AESCLUSUS GLABRA	OHIO BUCKEYE	B&B	2.5"
	LT	4	12'-14" HEIGHT AT INSTALLATION	LIRIODENDRON TULIPIFERA	TULIP POPLAR	B&B	2.5"
	PW	3	12'-14" HEIGHT AT INSTALLATION	PRUNUS SEROTINA	BLACK CHERRY	B&B	2.5"
	QM	3	12'-14" HEIGHT AT INSTALLATION	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B&B	2.5"
	TA	5	12'-14" HEIGHT AT INSTALLATION	TILIA AMERICANA	AMERICAN LINDEN	B&B	2.5"
UNDERSTORY TREES							
	CP	7	12'-14" HEIGHT AT INSTALLATION	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	B&B	2"

NATIVE SEED REQUIRED MAINTENANCE - 3 YEARS

- ESTABLISHMENT (SPRING SEEDING)**
1. PREPARE SITE - LATE APRIL - MAY.
 2. SEED - MAY 1 - JUNE 1
- MAINTENANCE:**
1. MOW (6-8 INCHES) - EVERY 30 DAYS AFTER PLANTING UNTIL SEPTEMBER 30.
 2. WEED CONTROL - MOWING SHOULD HELP CONTROL ANNUAL WEEDS. SPOT SPRAY THISTLES ETC.
- ESTABLISHMENT (FALL SEEDING)**
1. PREPARE SITE - LATE AUGUST - EARLY SEPTEMBER.
 2. SEED - LATE SEPTEMBER TO FREEZE-UP.
- MAINTENANCE (FOLLOWING SEASON)**
1. MOW (6-8") - ONCE IN MAY, JUNE AND JULY.
 2. WEED CONTROL - MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.
- EVALUATION:**
1. COVER CROP GROWING WITHIN 2 WEEKS OF PLANTING (EXCEPT DORMANT PLANTINGS).
 2. SEEDLINGS SPACED 1-6 APART IN DRILL ROWS.
 3. NATIVE GRASS SEEDLINGS MAY ONLY BE 4-6 INCHES TALL.
 4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW AS NECESSARY.
- YEAR 2 - MAINTENANCE:**
1. MOW (6-8 INCHES) ONE TIME BETWEEN JUNE 1 - AUGUST 15 BEFORE WEEDS SET SEED.
 2. WEED CONTROL - MOWING SHOULD KEEP ANNUAL WEEDS DOWN. SPOT SPRAY THISTLES ETC.
 3. SOME SITES MAY NOT REQUIRE MUCH MAINTENANCE THE SECOND YEAR.
- EVALUATION:**
1. COVER CROP WILL BE GONE UNLESS WINTER WHEAT WAS USED IN A FALL PLANTING.
 2. GRASSES FORMING CLUMPS 1-6 INCHES APART IN DRILL ROWS, BUT STILL SHORT.
 3. SOME FLOWERS SHOULD BE BLOOMING (BLACK EYED SUSANS, BERGAMOT ETC.).
 4. IF THERE IS A FLUSH OF GROWTH FROM FOXTAIL ETC., MOW SITE.
- YEAR 3 - MAINTENANCE:**
1. MOW ONLY IF NECESSARY.
 2. WEED CONTROL - SPOT SPRAY THISTLES, ETC.
 3. SITES USUALLY DO NOT REQUIRE MUCH MAINTENANCE THE THIRD YEAR.
- EVALUATION:**
1. PLANTING SHOULD BEGIN LOOKING LIKE A PRAIRIE - TALL GRASSES, FLOWERS ETC.
- LONG-TERM MAINTENANCE:**
1. WEED CONTROL - SPOT SPRAY THISTLES ETC.
 2. BURNING (3-5 YEAR ROTATION) ALTERNATE SPRING AND FALL IF POSSIBLE.
 3. HAYING (3-5 YEAR ROTATION) LATE SUMMER OR EARLY FALL. ALTERNATE WITH BURNING (MAY SUBSTITUTE FOR BURNING).
 4. BURNING TWO YEARS IN A ROW WILL REALLY "CLEAN UP" ROUGH-LOOKING SITES.

COORDINATION

1. SCHEDULE AND COORDINATE WORK WITH OTHER TRADES TO FACILITATE WORK AND AVOID CONFLICTS IN CONSTRUCTION SEQUENCE AND EQUIPMENT INSTALLATION.
2. REVIEW ENTIRE PLAN SET AND COORDINATE WITH OTHER TRADES AS REQUIRED BY SEQUENCE OF CONSTRUCTION TO ENSURE PROVISION OF MAINLINE AND ELECTRICAL CONDUIT STUB-OUTS AT ALL REQUIRED LOCATIONS.

PLANTING NOTES

1. UPON APPROVAL OF STAKING LOCATIONS CONTRACTOR SHALL EXCAVATE PLANTING HOLES CENTERED AT STAKED LOCATIONS.
2. DIG HOLES AS DETAIRED AND TO A DIAMETER A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL OR CONTAINER.
3. REMOVE STICKS, RUBBISH, FOREIGN MATERIALS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSIONS.
4. SET BALLED AND BURLAPPED (B&B) STOCK ON LAYER OF COMPACTED SOIL, PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF ALL AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. ROOT FLARE OF THE TREE MUST BE EXPOSED WHILE ENSURING THE FIRST MAIN LATERAL ROOT IS WITHIN TWO INCHES OF FINISHED GRADE, WITHOUT EXCEEDING FINISHED GRADE.
6. WHEN SET, PLACE ADDITIONAL PLANTING SOIL BACKFILL AROUND BASE AND SIDES OF BALL, AND WORK EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS.
7. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL.
8. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL.
9. FOR CONTAINER GROWN STOCK, SAME AS FOR BALLED AND BURLAPPED STOCK, EXCEPT CUT CONTAINERS ON SIDES INTO QUARTERS WITH SHEAR. REMOVE CONTAINER BEFORE SETTING PLANT SO AS NOT TO DAMAGE ROOT BALLS.
10. WATER EACH PLANT WITHIN 2 HOURS OF PLANTING.
11. ALL PLANTINGS TO BE MULCHED UNLESS OTHERWISE NOTED ON THE PLAN.
12. PLACE 4-INCH THICKNESS OF LOCALLY AVAILABLE DOUBLE SHRED HARD WOOD MULCH AROUND TREES WITHIN A PERIOD OF 48 HOURS AFTER THE SECOND WATERING.
13. DO NOT PLACE MULCH IN DIRECT CONTACT WITH STEMS AND KEEP MULCH AWAY FROM TRUNK OF TREE.

TURF RESTORATION NOTES

1. THE ESTABLISHMENT PERIOD FOR SEED SHALL BEGIN IMMEDIATELY AFTER INSTALLATION, WITH THE APPROVAL OF THE OWNER, AND CONTINUE UNTIL THE DATE THAT THE OWNER PERFORMS A FINAL INSPECTION.
2. EDGE RESTRAINT SHALL BE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 3/16" X 5 5/8", T-6 HARDNESS OR EQUAL. SUBMIT SAMPLE FOR OWNER APPROVAL.
3. FERTILIZER SHALL CONFORM TO INDOT SPEC. 914.03.
4. TOPSOIL SHALL BE RE-USED OR IMPORTED AND CONFORM TO INDOT SPEC. 914.01. 6" OF TOPSOIL SHALL BE PLACED IN ALL SEEDED AREAS, EXPECT STORMWATER POND BOTTOM AND SIDES. SEE CIVIL PLANS. INSTALLATION OF SEED SHALL OCCUR WITHIN ONE (1) WEEK OF COMPLETING THE GRADING.
5. SEED SHALL BE DRILL SEEDED AND FOLLOW INDOT SPEC 621 FOR INSTALLATION.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR WATER DURING THE PLANTING ESTABLISHMENT PERIOD.
7. TURF SEED SHALL BE A LOW MAINTENANCE SEED MIX. SUBMIT CUT SHEET FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION.
9. NATIVE SEED MIX SHALL BE ECONOMY PRAIRIE SEED MIX OR EQUAL, PROVIDED BY STANTEC, 574-586-2412. WWW.STANTEC.COM. SUBMIT CUT SHEET FOR OWNER APPROVAL PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE COVER CROP SEED MIX PER MANUFACTURER RECOMMENDATIONS.

INSPECTION AND ACCEPTANCE

1. LANDSCAPE WORK WILL BE INSPECTED FOR ACCEPTANCE IN PARTS AGREEABLE TO THE OWNER, PROVIDED WORK OFFERED FOR INSPECTION IS COMPLETE, INCLUDING MAINTENANCE, FOR THE PORTION IN QUESTION.
2. AT THE CONCLUSION OF THE ESTABLISHMENT PERIOD, WHICH WILL BE ONE YEAR FOLLOWING INITIAL INSTALLATION A FINAL INSPECTION OF PLANTING WILL BE MADE TO DETERMINE THE CONDITIONS OF AREAS SPECIFIED FOR LANDSCAPING.
3. WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.

QUALITY ASSURANCE

1. ALL WORK AND MATERIALS TO BE IN FULL ACCORDANCE WITH LATEST RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, THE UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES, AND OTHER APPLICABLE LAWS OR REGULATION.
2. NOTHING IN THESE DRAWINGS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.
3. FURNISH, WITHOUT EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR AS REQUIRED TO COMPLY WITH THESE RULES AND REGULATIONS, THROUGH THE WORK IS NOT MENTIONED IN THESE PARTICULAR CONSTRUCTION DOCUMENTS.

PROTECTION OF EXISTING CONDITIONS

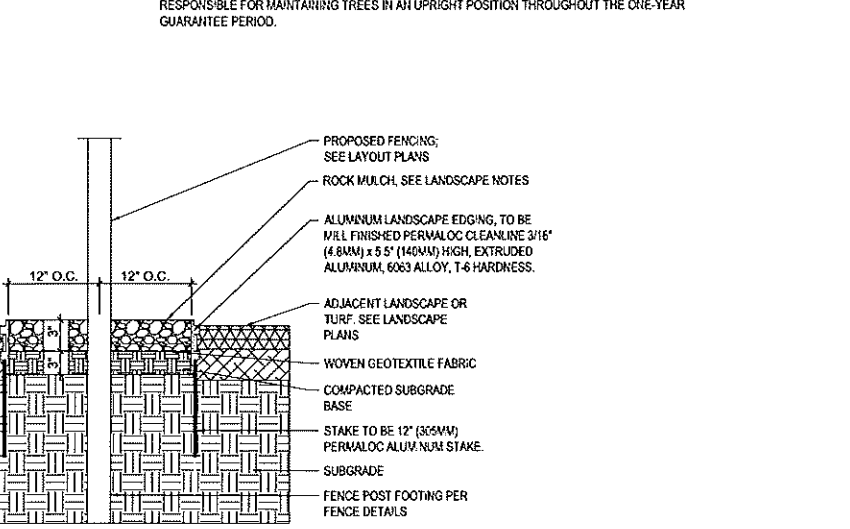
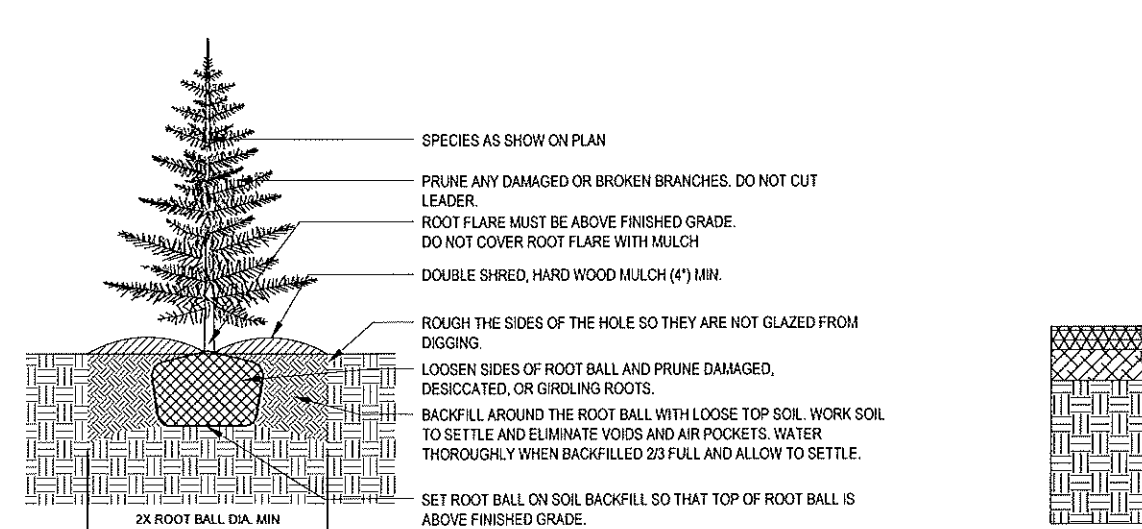
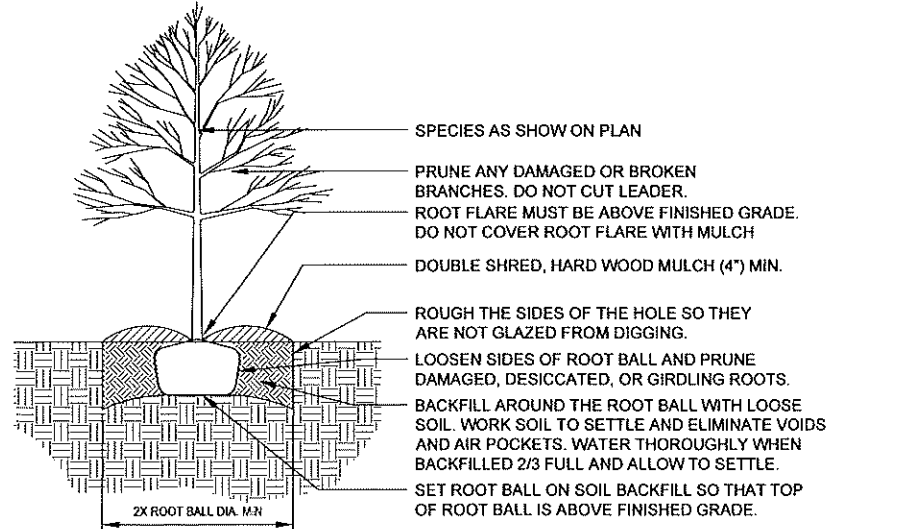
1. BECOME ACQUAINTED WITH ALL SITE CONDITIONS. LOCATE EXISTING UTILITIES AND EQUIPMENT TO REMAIN. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE DRAWINGS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY ENGINEER. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE ARISING FROM OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON DRAWINGS.
2. TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS. REPAIR ANY DAMAGED ITEM TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUIVALENT REPLACEMENT AT NO ADDITIONAL COST TO OWNER.

CODES AND INSPECTION

1. THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES AND WITH THE ESTABLISHED CODES ALLOCABLE THERE TO.
2. THE CONTRACTOR SHALL TAKE OUT ALL REQUIRED PERMITS, ARRANGE FOR ALL NECESSARY INSPECTION, AND PAY ANY FEES AND EXPENSES IN CONJUNCTION WITH THE SAME AS PART OF THE WORK UNDER THIS CONTRACT.

MAINTENANCE NOTES

1. WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.
2. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
3. MAINTAIN TREES AND BUSHES INCLUDING WATERING FOR ONE YEAR AFTER ACCEPTANCE BY OWNER. IT IS CONTRACTOR'S RESPONSIBILITY FOR COORDINATE WATERING.
4. TRIM, PRUNE, REMOVE CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREAT PRUNED AREAS AND OTHER WOUNDS.
5. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE TREES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT POSITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD.



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LIBERTY II

ADAMS TOWNSHIP, MADISON COUNTY, INDIANA 46056

PROJECT TITLE	LIBERTY II
ISSUE NO.	1
DATE	05/04/2025
DESCRIPTION	SITE PLAN SUBMITTAL

REGISTERED
No. LA20060004
STATE OF INDIANA
LANDSCAPE ARCHITECT

PROJECT NO.	190300335
DWN BY:	THR
CHKD BY:	RAG
APPD BY:	JTP
ISSUE DATE:	05/04/2025
ISSUE NO.:	1
SHEET TITLE	LANDSCAPE DETAILS
SHEET NO.:	L-801